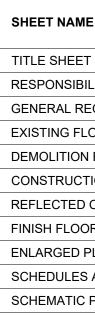


G-100 G-101 G-102 EX-100 DM-110 A-111 A-112 A-113 A-400 A-600

P-411

SHEET #





U.S. ICE 1000 DISTRICT AVE BURLINGTON, MA

			FIXTURE	REQUIRE	D	PROVIDED			
			TOTAL EMPLOYEES: 190	MEN	WOMEN	MEN	WOMEN		
			TOILET - EMPLOYEE	1:25	1:20	4	1		
			TOILET - EMP. UNISEX	N/A	N/A	4			
			URINAL	50% OF TOILETS	N/A	3	N/A		
EE PORTION	OF THE BUILDI	NG)	LAVATORY	1:200	1:200	4	6		
OCCUPANTS			UTILITY SINK	1			1		
			WATER FOUNTAIN	-		1 PEI	R FLOOR		
			ACCESSIBILITY CODE REFERENCED -	ARCHITECTURAL BARR	IERS ACT ACC	ESSIBILITY STAN	NDARD (ABAAS)		
0.30	71	1'-9 1/2"	402 ACCESSIBLE ROUTE CLEAR WIDTH	7					
0.30 0.20	71 71	1'-9 1/2" 1'-2"	402 ACCESSIBLE ROUTE CLEAR WIDTE REQUIRED:	YES					
			REQUIRED:	YES					
0.20	71	1'-2"	REQUIRED: PROVIDED:	YES					
0.20 .R WIDTH	71 DOOR	1'-2" CLR WIDTH	REQUIRED: PROVIDED: 404 CLEAR WIDTH (MANUAL DOORS)	YES YES					
0.20 .R WIDTH 3'-6"	71 DOOR EXIT 1	1'-2" CLR WIDTH 3'-6"	REQUIRED: PROVIDED: 404 CLEAR WIDTH (MANUAL DOORS) PROVIDED:	YES YES 32" MIN. 32" MIN.	OR SPACE RE	QUIREMENTS			
0.20 .R WIDTH 3'-6"	71 DOOR EXIT 1	1'-2" CLR WIDTH 3'-6"	REQUIRED: PROVIDED: 404 CLEAR WIDTH (MANUAL DOORS) PROVIDED: PROPOSED:	YES YES 32" MIN. 32" MIN.		QUIREMENTS PARALLEL TO	DOORWAY		
0.20 .R WIDTH 3'-6"	71 DOOR EXIT 1	1'-2" CLR WIDTH 3'-6"	REQUIRED: PROVIDED: 404 CLEAR WIDTH (MANUAL DOORS) PROVIDED: PROPOSED: 404.2.4.1 MANUAL SWINGING DOORS -	YES YES 32" MIN. 32" MIN. PUSH SIDE CLEAR FLO		PARALLEL TO	DOORWAY LOSER + LATCH		
0.20 .R WIDTH 3'-6"	71 DOOR EXIT 1	1'-2" CLR WIDTH 3'-6"	REQUIRED: PROVIDED: 404 CLEAR WIDTH (MANUAL DOORS) PROVIDED: PROPOSED: 404.2.4.1 MANUAL SWINGING DOORS - APPROACH DIRECTION	YES YES 32" MIN. 32" MIN. PUSH SIDE CLEAR FLO PERPENDICULAR TO I	DOORWAY	PARALLEL TO			

PLUMBING CODE REFERENCED - 248 CMR - UNIFORM STATE PLUMBING CODE

404.2.1 MANUAL S APPROACH DIRE FRO

> LAT HIN HIN

PROGRESS SET	CLIENT COMMENTS	CLIENT COMMENTS	
06.10.2020	08.17.2020	11.30.2020	
06.10.2020			
06.10.2020			ARCHITECTURE
06.10.2020			
06.10.2020	08.17.2020		MILLENNIUM DESIGN ASSOCIATES, INC 1599 WASHINGTON ST, SUITE 1A
06.10.2020	08.17.2020		BRAINTREE, MA 02184
		11.30.2020	PHONE: 781.843.9400
			www.MDAarchitecure.com
			EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP
06.10.2020	08.17.2020		PROJECT NO : MHI-1379
			SEAL : DATE : 12/29/21 CONSULTANT : CLIENT : MURRAY HILLS, INC. 27 CAMBRIDGE ST SUITE #200 BURLINGTON, MA 01803 KEY PLAN :
			PROJECT LOCATION : U.S. ICE
SHE	ET SCHED	ULE	1000 DISTRICT AVE
			BURLINGTON, MA
			01803
CLOSER + LATCH			
	36"		
	42"		ORIGINAL ISSUE DATE PROGRESS SET 06.10.2020 REVISIONS & SUBMISSIONS DATE
BUILDING CO	DDE ANALY	'SIS	DRAWING NO : G-100
	SET 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 06.10.2020 0.00.	SET COMMENTS 06.10.2020 06.17.2020 06.10.2020 06.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 06.10.2020 08.17.2020 10.10000 08.17.2020 10.1000 08.17.2020 10.1000 08.17.2020 10.1000 08.17.2020 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.1000 10.10000 10.1000	SET COMMENTS COMMENTS 06.10.2020 08.17.2020 11.30.2020 06.10.2020 03.17.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 06.10.2020 08.17.2020 11.30.2020 01.0000 0.0000 10.0000 01.0000 0.0000 10.0000

	G.C.	L TN	-			G.C. LL	_ TNT			G.C. I	LL TNT			
	H - L	H. H.	NG L			H L K	RG SH			H - H	L R -	NG NG		
	FURNISH INSTALL FURNISH	INSTALL FURNISH				FURNISH INSTALL FURNISH	INSTALL FURNISH INSTALL EXISTING	4		FURNISH INSTALL FURNISH	INSTALL FURNISH INSTALL			
I DIVISION	L N N	Ĭ 2		NOTES	C.S.I DIVISION	L X L	ı ı ı ı	NOTES	C.S.I DIVISION	LE X L	Т Ц Ц Ц Ц Ц Ц Ц Ц		NOTES	C.
NTRACT REQUIREMENTS					07 THERMAL / MOISTURE				7 SAFE			X		32 1
	X				1 WATERPROOFING	XX		SHEET OR FLUID APPLIED	8 ATM			X		1
EOTECHNICAL REPORT			X		2 THERMAL & SOUND INSULATION			X X	9 LOADING DOCK PROTECTION			X X		2
PLANNING AND ZONING			x		3 WEATHER BARRIERS 4 VAPOR RETARDERS			X	10 DOCK LEVELERS / LIFTS 12 FURNISHINGS			^		3
BUILDING	X X				5 EXTERIOR SIDING			X	1 CASEWORK			x		6
FIRE DEPARTMENT	X X				6 E.I.F.S.			X	2 COUNTER TOPS	X X			LAV COUNTERTOPS	7
BOARD OF HEALTH	X X				7 METAL PANEL SIDING			X	3 TABLES AND CHAIRS			x		8
NSPECTIONS AND FEES	X X				8 TRIM AND SOFFITS			X	4 MISC. FURNITURE			X		9
SPECIAL INSPECTIONS					9 ICE AND WATER SHIELD			X	5 BLINDS AND SHADES			X		10
A.O.R. / E.O.R.		X	<		10 ROOF SHINGLES			X	6 FLOOR MATS AND FRAMES			X		11
SPECIAL INSPECTOR		X	<		11 STANDING SEAM METAL ROOFING			X INCLUDING SNOW GUARDS	7 FRAMED ART/GRAPHICS			X		12
ENERAL REQUIREMENTS		1 1 1			12 MEMBRANE ROOFING			X	8 TOILET PARTITIONS	x x				33 (
LTERNATES			X		13 SHEET METAL FLASHING/TRIM			X	21 FIRE SUPPRESSION	- T T T				1
JNIT PRICES			x		14 ROOF SPECIALTIES			X GUTTERS, DOWNSPOUTS, SCUPPERS	1 SPRINKLER SYSTEM	x x		x	MODIFY / SUPPLEMENT EXISTING SYSTEM	2
LLOWANCES			X		15 ROOF ACCESSORIES			CURBS, HATCHES, VENTS,	ENGINEERED SHOP DRAWINGS	x x			SIGNED AND SEALED DRAWINGS /	3
	X			FORM AIA G703 OR SIMILAR	16 JOINT SEALANTS AND CAULKING			A WALKWAYS	22 PLUMBING				CALCS	4
	X			GANTT CHART / CPM SCHEDULE	08 DOORS AND WINDOWS				1 WATER HEATER			x		5
CONST. PROG. DOCUMENTATION	X			REFER TO G-102	1 DOORS, FRAMES & HARDWARE	X X			2 SERVICE SINK				CORE FACILITY JANITOR'S CLOSET	
	^			REFER TO G-102 REFER TO G-102				V OVHD DOORS, GRILLES, SLIDING	3 GREASE TRAP					┥┝─┤
SAFETY TEMPORARY UTILITIES	X X X				2 SPECIAL DOORS, FRAMES & HDW			X GATES, ETC	4 TOILET FIXTURES	X X				
TEMPORARY UTILITIES					3 AUTOMATIC DOOR OPERATORS			X	5 SINKS	X X				┥┝─┥
FIELD OFFICE					4 ACCESS DOORS AND FRAMES			X	6 SUPPLY PIPING	X X			MODIFY/ EXTEND TIE INTO EXISTING	
SANITARY FACILITIES					5 ALUM. ENTR. & STOREFRONTS			X	7 SANITARY PIPING	x x			MODIFY/ EXTEND TIE INTO EXISTING	
TEMPORARY ENCLOSURES					ENGINEERED SHOP DRAWINGS			X	8 NATURAL GAS			X		
WASTE MGMT AND DISPOSAL	x x				6 FIRE SHUTTERS			X	SERVICE TO BUILDING			X		
NSURANCES	X X X				7 GLAZED ALUM. CURTAIN WALLS				METER			x		
BOND(S)	X X				8 PREFAB UNIT WINDOWS			N .	DISTRIBUTION PIPING			X		
CLOSEOUT PROCEDURES	X X				9 WALL LOUVERS AND VENTS			X	23 HEATING, VENTILATION & AIR CONI	DITIONING				
ISTING CONDITIONS					09 FINISHES 1 GYPSUM PLASTER			X	1 FURNACE/A.C. UNIT					-
/ERIFY EXIST CONDITIONS	X X				2 FIBERGLAS REINF. PANELS (FRP)			X						
STRUCTURAL DEMOLITION			X		3 GYPSUM BOARD	X X			3 DUCT DIST./GRILLS/DIFFUSERS	X X		X	MODIFY/ EXTEND TIE INTO EXISTING	_
SELECTIVE DEMOLITION	X X				4 CERAMIC TILE			WALL TILE	4 DUCT SMOKE DETECTORS			X		
ONCRETE					5 PORCELAIN TILE			FLOOR TILE						-
(-RAY	X X				6 STONE TILE			X				X		_
CUTTING / PATCHING	X X				7 ACOUSTIC TILE CEILINGS	X X						X		_
CAST-IN-PLACE CONCRETE			X		8 WOOD FLOORING			X	3 SWITCH GEAR AND PANELS 4 TRANSFORMER					
ARCHITECTURAL CONCRETE			X		9 RESILIENT BASE/ACCESSORIES			X	5 CONDUIT AND DISTRIBUTION	x x		^	MODIFY/ EXTEND TIE INTO EXISTING	_
PRECAST CONCRETE			X		10 RESILIENT SHEET FLOORING			X	6 SIGNAGE			x	J BOX AND WHIP	_
CONCRETE TOPPING			X		11 RESILIENT TILE FLOORING			X	7 LIGHT FIXTURES AND LAMPS					
CEMENT UNDERLAYMENT	X X				12 TERRAZZO FLOORING			X	INTERIOR	x x		X		-
IASONRY	1 1 1				13 EPOXY FLOORING			X	EMERGENCY / EXIT	X X		x	REINSTALL EXISTING	_
MASONRY CLEANING			X		14 TILE CARPETING			X	COOLER / FREEZER			x		-
			X		15 ROLL CARPETING			X	SITE			x		1
			X		16 WALL COVERINGS			X	FUEL CANOPY			x		1
			X		17 EXTERIOR PAINTING			X	RELAMPING			x		
			X		18 INTERIOR PAINTING	X X			8 POS / DATA					
THIN-BRICK VENEER					19 STAINING/TRANSPARENT FINISH			X	CABLE AND DISTRIBUTION				MODIFY/ EXTEND TIE INTO EXISTING	
STONE MASONRY			X		10 SPECIALTIES		· · ·		9 EQUIPMENT				ALL HARDWIRED EQUIPMENT	
CAST STONE MASONRY			X		1 BUILDING SIGNAGE			X	10 FIRE ALARM					_
ECRATIVE MTL. REPAIR /REFIN.					2 EXTERIOR SITE SIGNAGE			X	FACP AND CONNECTION					_
TRUCTURAL STEEL FRAMING					3 TOILET COMPARTMENTS			X	DEVICES	X X		X	REINSTALL EXISTING	_
STEEL JOIST FRAMING					4 MOVABLE / FOLDING PARTITIONS			X	SHOP DRAWINGS					
STEEL DECKING					5 WALL AND DOOR PROTECTION	X X			27 COMMUNICATIONS					
COLD-FORMED METAL FRAMING	X X				6 TOILET ACCESSORIES	X X						X		_
IETAL FABRICATIONS	X X X			TRANSITION STRIPS, WWM	7 FIRE PROTECTION CABINETS			X	2 CONDUIT / PULL STRINGS			X		_
IETAL PAN STAIRS			x		8 FIRE EXTINGUISHERS			X	3 DISTRIBUTION					_
IPE AND TUBE RAILINGS			x		9 LOCKERS			X X	4 DATA / CAT-5			X		
ECORATIVE METAL			x		10 STORAGE SHELVING 11 AWNINGS			X X	28 ELECTRONIC SAFETY AND SECURIT 1 POWER					
OOD & PLASTICS		· · · · ·			11 AWNINGS 12 FLAGPOLES			X	2 DISTRIBUTION					_
OUGH CARPENTRY	x x				12 FLAGPOLES 13 ROOF SCREENING			XXX	3 ALARM EQUIPMENT					_
HEATHING	x x				11 EQUIPMENT				4 SURVEILLANCE EQUIPMENT					_
HOP-FAB. WOOD TRUSSES			X		1 FOOD SERVICE EQUIPMENT			X	31 EARTHWORK			^		
GLUED LAM. CONSTRUCTION			X		2 COOLER + FREEZER			X	1 SITE CLEARING			x		
INISH CARPENTRY	xx				GLASS C/F DOORS			X	2 EARTH MOVING					_
IILLWORK			x		EVAPORATOR / CONDENSER			X	3 DEWATERING					_
LASTIC LAMINATE			X		LINE SETS AND CHARGING			X	4 TERMITE CONTROL					_
BLOCKING	x x				3 POS SYSTEM			X	5 EXCAVATION PROTECTION					_
WOOD BLOCKING	x x				4 WORK STATIONS / SHELVING			X						
						+ + +								
FIRE AND DRAFT STOPPING	XX				5 WALL SHELVING			X						

	G.	C.	L	L	Т١	١T				
	FURNISH	-ALL	FURNISH	INSTALL	FURNISH	INSTALL	EXISTING			
ON	FUR	INST	FUR	INST	FUR	INST	EXIS	N/A	NOTES	ARCHITECTURE
MPROVEMENTS										MILLENNIUM DESIGN ASSOCIATES, INC 1599 WASHINGTON ST, SUITE 1A
PAVING								X		BRAINTREE, MA 02184
E PAVING								X X		PHONE: 781.843.9400
١G								х		www.MDAarchitecure.com EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP
BUMPERS								X		PROJECT NO : MHI-1379
MARKINGS								X X		PROJECT NO . MINI-1379
ND GATES								х		SEAL :
WALLS								X		A STATIST MATHONY OF COL
GRASSES								X X		B MARSHREED
										THE REAL PROPERTY AND
										DATE : 12/29/21
										CONSULTANT :
										CLIENT :
										MURRAY HILLS, INC.
										27 CAMBRIDGE ST
										SUITE #200
										BURLINGTON, MA 01803
										01003
										KEY PLAN :
										PROJECT LOCATION :
										U.S. ICE
										1000 DISTRICT AVE
										BURLINGTON, MA 01803
										01003
										ORIGINAL ISSUE DATE
										PROGRESS SET 06.10.2020
										REVISIONS & SUBMISSIONSDATE1CLIENT COMMENTS08.17.2020
										RESPONSIBILITY
										SCHEDULE
										DRAWING NO :
			.			-				G-101
		R	ES	P (JN	SI	BI	L17	Y SCHEDULE	COPYRIGHT © 2020 - MILLENNIUM DESIGN ASSOCIATES, INC.

00 00 00 PROCUREMENT AND CONTRACTING REQUIREMENTS

- 1.1. <u>"APPROVED" / "APPROVAL": WITH RESPECT TO THE ACTION(S) OF THE</u> ARCHITECT, THIS TERM SHALL BE LIMITED TO THE ARCHITECT'S RESPONSIBILITIES INDICATED IN THE CONTRACT DOCUMENTS.
- 1.2. "CONTRACT DOCUMENTS": ALL WRITTEN DOCUMENTS, DRAWINGS AND DOCUMENTS OF A GRAPHIC NATURE USED IN THE EXECUTION OF THE CONSTRUCTION CONTRACT, INCLUDING BUT NOT LIMITED TO THE LANDLORD CONTRACTOR AGREEMENT, GENERAL AND SUPPLEMENTAL CONDITIONS, DRAWINGS, SPECIFICATIONS AND ANY CHANGES AND OR REVISIONS TO ANY OR ALL OF THE AFOREMENTIONED.
- 1.3. "INDICATED": WRITTEN OR GRAPHIC REQUIREMENTS OF THE WORK IN THE CONTRACT DOCUMENTS.
- 1.4. "REGULATIONS": LAWS, BY-LAWS, STATUTES, ORDINANCES OR OTHER LAWFUL DIRECTIVES ISSUED BY AUTHORITIES HAVING JURISDICTION, IN ADDITION TO INDUSTRY SPECIFIC GUIDELINES AND CONVENTIONS THAT DICTATE WORK PERFORMANCE.
- 1.5. "FURNISH": SUPPLIED, DELIVERED TO THE PROJECT SITE, READY TO BE UNLOADED, UNPACKED, STORED, ASSEMBLED AND INSTALLED. 1.6. "INSTALLED": UNLOADED, UNPACKED, STORED, ASSEMBLED AND
- CONSTRUCTED AT THE PROJECT SITE. 1.7. "PROVIDE": FURNISH AND INSTALL. READY FOR ITS INTENDED USE. 1.8. "AUTHORITIES HAVING JURISDICTION": (A.H.J.) PERSON(S) HAVING THE AUTHORITY TO DETERMINE, INTERPRET AND ENFORCE LAWS, ORDINANCES AND CODE REQUIREMENTS ESTABLISHED BY GOVERNING BODIES THAT REGULATE THE AREA IN WHICH THE PROJECT SITE EXISTS.
- 2. CONSTRUCTION DOCUMENTS
- 2.1. WORK INDICATED IN THE CONTRACT DOCUMENTS: ALL WORK, EQUIPMENT AND MATERIALS INDICATED IN THE CONTRACT DOCUMENTS SHALL BE PROVIDED AS NEW UNLESS NOTED AS "EXISTING" OR "E.T.R.".
- 2.2. PRICING REQUIREMENTS: CONTRACTOR(S) AND SUBCONTRACTORS PROVIDING PRICING FOR ALL OR ANY PORTION OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS, REGARDLESS IF THE LANDLORD ELECTS TO BID OR NEGOTIATE THE CONSTRUCTION CONTRACT, SHALL BE SUBJECT TO REQUIREMENTS CONTAINED HEREIN.
- 2.3. CONTRACT DOCUMENT DISTRIBUTION: CONTRACTOR SHALL PROVIDE A COMPLETE SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS PREPARING PRICING FOR THE WORK.
- 2.4. DOCUMENT CONTINUITY INTENT: CONTRACT DOCUMENTS ARE COMPLEMENTARY. CONTRACTOR SHALL PROVIDE ALL WORK SHOWN ON THE CONTRACT DOCUMENTS. WORK INDICATED ON ANY DRAWING SHALL BE CONSIDERED TO BE INDICATED ON ALL DRAWINGS. NO ADDITIONAL COMPENSATION WILL BE MADE FOR FAILURE TO REFERENCE AND COORDINATE WITH THE COMPLETE SET OF CONSTRUCTION DOCUMENTS.
- 2.5. MANDATORY PRE-PRICING SITE VISIT: CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO ISSUING THEIR RESPECTIVE PRICING TO THE LANDLORD AND CONTRACTOR RESPECTIVELY. 2.6. CONTRACTOR PRE-PRICE QUALIFICATION: CONTRACTOR SHALL
- COORDINATE WITH ALL SUBCONTRACTORS PRIOR TO CONTRACTOR SUBMITTING PRICING TO THE LANDLORD TO ASSURE THE SUBCONTRACTORS HAVE VISITED THE SITE, THOROUGHLY UNDERSTAND THE SCOPE, SCHEDULE, CONDITIONS AND LANDLORD REGULATIONS IN ADDITION TO POSSESSING AN AWARENESS AND CONSIDERATION OF WORK WHICH IS DEPENDENT UPON THAT OF OTHERS.
- 2.7. PRICING ASSURANCE: SUBMISSION OF PRICING BY THE CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED EVIDENCE THAT THE AFOREMENTIONED ASSURANCES HAVE BEEN MET. CLAIMS ATTRIBUTABLE TO FAILURE TO VISIT THE WORK SITE SHALL NOT BE ALLOWED.
- 2.8. PRE-PRICING CLARIFICATIONS: SHOULD QUESTIONS ARISE FROM AN OMISSION, CONFLICT OR ERROR IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL SEEK CLARIFICATION FROM THE ARCHITECT NO LESS THAN 48 HOURS PRIOR TO SUBMITTING PRICING TO THE LANDLORD. SHOULD CLARIFICATION NOT BE RECEIVED BY CONTRACTOR PRIOR TO PRICING, CONTRACTOR SHALL ASSUME THE MORE COSTLY METHOD, MATERIAL AND/ OR QUANTITY.
- 2.9. ON SITE DOCUMENT REQUIREMENTS: CONTRACTOR SHALL KEEP COPIES OF THE FOLLOWING DOCUMENTS ON SITE AT ALL TIMES:
- 2.9.1. A COMPLETE, BOUND PERMIT SET OF CONSTRUCTION DRAWINGS. 2.9.2. A COMPLETE, BOUND CURRENT SET OF CONSTRUCTION DRAWINGS.
- 2.9.3. ALL SHOP DRAWINGS.
- 2.9.4. PRODUCT DATA AND CUT SHEETS.
- 2.9.5. SAMPLES OF ALL EXTERIOR AND INTERIOR FINISHES. 2.9.6. MATERIAL SAFETY DATA SHEETS FOR ALL MATERIALS USED.
- 3. PERMIT APPLICATION AND FEES
- 3.1. PERMITTING APPLICATION AND FEES: REFER TO RESPONSIBILITY SCHEDULE REGARDING PERMIT APPLICATION. FEES AND PROCUREMENT. 3.2. PERMIT DENIAL: THE PARTY(S) DESIGNATED AS RESPONSIBLE FOR MAKING APPLICATION TO THE A.H.J. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY ISSUE OR EVENT THAT PROHIBITS THE ISSUANCE OF THE PERMIT. FORWARD ANY WRITTEN CORRESPONDENCE RECEIVED BY THE A.H.J. TO THE ARCHITECT AT THE TIME OF THE NOTIFICATION.
- 4. CONTRACTOR/SUBCONTRACTOR INSURANCE REQUIREMENTS
- 4.1. BONDING AND ON-SITE INSURANCE: SHALL BE REQUIRED ACCORDING TO THE STIPULATED AMOUNTS IN THE LANDLORD-CONTRACTOR AGREEMENT. CONTRACTOR SHALL CARRY INSURANCE FOR MATERIALS AND EQUIPMENT STORED OFF-SITE USED IN THE PROJECT ACCORDING TO THE STIPULATED AMOUNTS IN THE LANDLORD-CONTRACTOR AGREEMENT.

01 01 00 GENERAL REQUIREMENTS

- 1. SUMMARY OF THE WORK
- 1.1. SUMMARY OF WORK: THE WORK OF THE CONTRACT IS DEFINED BY THE DRAWINGS LISTED IN THE DRAWING SCHEDULE ON THE TITLE SHEET AND INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1.1.1. LEASE EXHIBITS 1.1.2. LANDLORD CRITERIA
- 1.1.3. OWNER CRITERIA
- 1.2. WORK UNDER SEPARATE CONTRACTS: CONTRACTOR SHALL COOPERATE FULLY WITH SEPARATE CONTRACTORS PERFORMING WORK PRECEDING, CONCURRENT AND SUBSEQUENT TO THE WORK OF THIS CONTRACT
- **INCLUDING BUT NOT LIMITED TO:** 1.2.1. HAZARDOUS MATERIAL TESTING
- 2. WORK RESTRICTIONS
- 2.1. SITE ACCESS: CONTRACTOR SHALL HAVE ACCESS TO AND BE RESPONSIBLE FOR AND SECURE THE SITE UPON WRITTEN APPROVAL FROM THE I ANDI ORD
- 2.2. ACCESS COORDINATION: CONTRACTOR SHALL COORDINATE WITH ALL SUBCONTRACTORS AND VENDORS TO ASSURE ALL PARTIES UNDERSTAND WORK WHICH IS DEPENDENT UPON BUILDING ACCESS LIMITATIONS, DELIVERIES, AFTER HOUR SCHEDULES AND OR LANDLORD REGULATIONS. CONTRACTOR SHALL COORDINATE WITH LANDLORD FOR ACCESS TO ANY MATERIALS CURRENTLY STORED WHICH ARE INTENDED TO BE PART OF THE WORK.
- 2.3. CONSTRUCTION IMPACT AND DISTURBANCE: WORK SHALL BE PERFORMED SO AS TO MINIMIZE THE RISK OF DISTURBANCE OF ANY KIND TO THE

BUILDING OCCUPANTS AND TENANTS. CONTRACTOR SHALL VERIFY LANDLORD APPROVED HOURS OF OPERATIONS AND ASSUME THAT AL WORK CONDUCTED OUTSIDE THE DEMISED PREMISES INVOLVING UTIL SHUT DOWNS AND WORK IN OTHER AREAS AND TENANTS SPACES SHA CONDUCTED AFTER HOURS.

2.4. UTILITY SERVICE CONNECTIONS: CONTRACTOR SHALL PROVIDE ALL PERMANENT UTILITY SERVICES, METERS AND SUB-METERS IN A TIMEL MANNER SO AS NOT TO AFFECT <u>TENANT</u> OCCUPANCY DATE OR OPERATIONS.

01 20 00 PRICE AND PAYMENT PROCEDURES

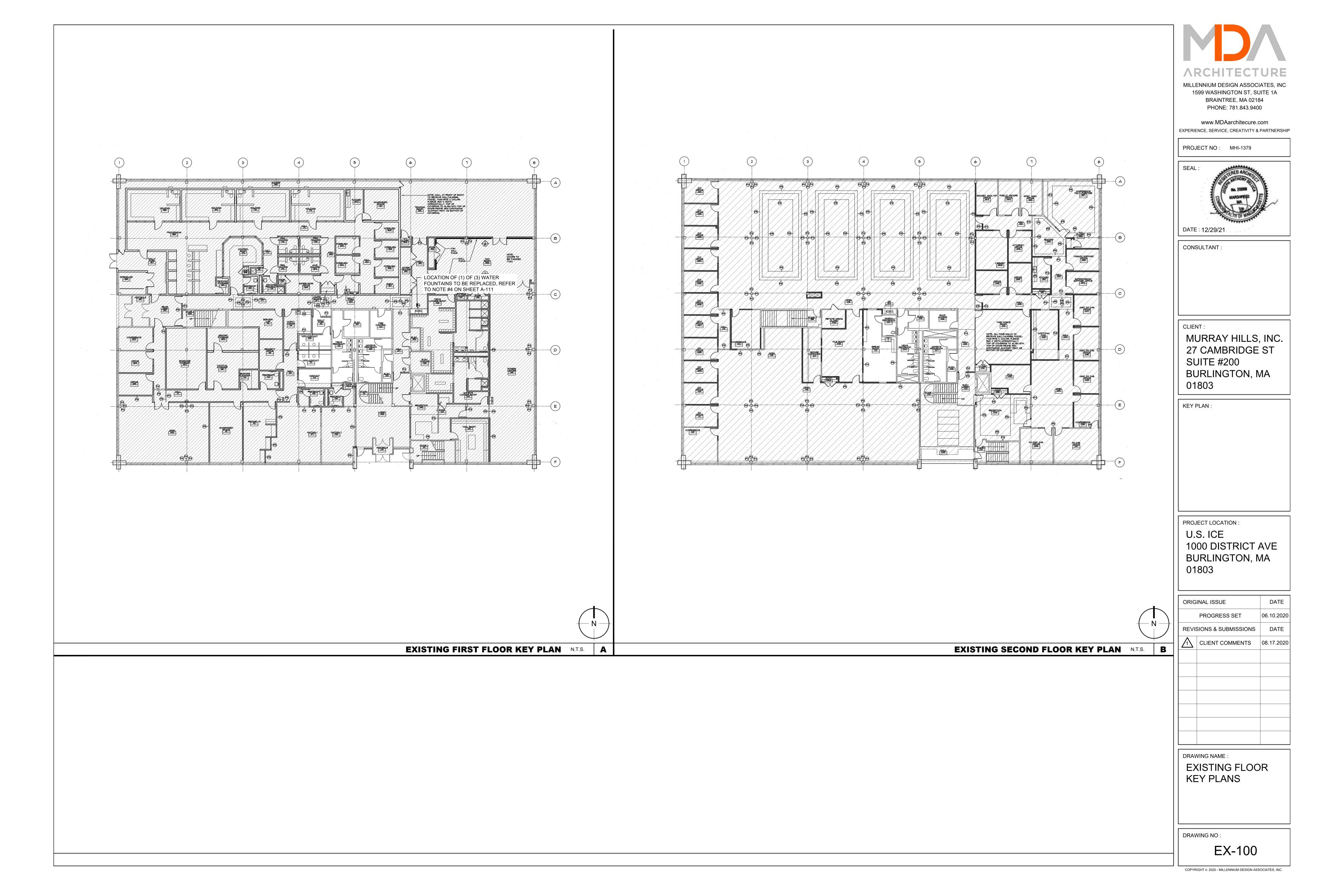
- 1. ALTERNATES, UNIT PRICING AND ALLOWANCES
- 1.1. ADDITIONAL PRICING REQUIREMENTS: WHERE CALLED FOR IN THE CONTRACT DOCUMENTS, PROVIDE ALLOWANCES, UNIT PRICES AND/OI ALTERNATES IN THE AMOUNT(S) AND FORMATS INDICATED.
- 2. SUBSTITUTIONS
- 2.1. SUBSTITUTIONS: THE TERMS "OR EQUAL", "EQUAL TO", "ACCEPTABLE". INDICATE THAT THE ITEM(S) REFERENCED ARE ELIGIBLE FOR SUBSTIT ALL SUBSTITUTIONS MUST COMPLY WITH SUBMITTAL PROCEDURES CONTAINED HEREIN TO BE CONSIDERED. ARCHITECT IS SOLE ARBITER ACCEPTANCE OF SUBSTITUTIONS.
- 3. CONTRACT MODIFICATION
- 3.1. PROJECT SCOPE CHANGES: LANDLORD MAY ALTER THE PROJECT SCC ANY TIME WITHOUT VOIDING THE LANDLORD-CONTRACTOR AGREEME ADDITIONS AND DELETIONS OF WORK SHALL BE DONE IN ACCORDANCE WITH SAID AGREEMENT.
- 4. PAYMENT PROCEDURES
- 4.1. SCHEDULE OF VALUES: CONTRACTOR SHALL SUBMIT A SCHEDULE OF VALUES TO THE ARCHITECT AND TO THE LANDLORD.
- 4.2. APPLICATIONS FOR PAYMENT: CONTRACTOR SHALL SUBMIT APPLICAT FOR PAYMENT TO THE PARTY(S) INDICATED IN THE LANDLORD-CONTRA AGREEMENT. PROVIDE REQUISITION BACKUP IF REQUESTED.
- 01 30 00 ADMINISTRATIVE REQUIREMENTS
- 1. PROJECT MANAGEMENT AND COORDINATION 1.1. MEETINGS: CONDUCT MEETINGS IN ACCORDANCE WITH THE APPROPR PHASE OF CONSTRUCTION AND AS INDICATED BELOW. CONTRACTOR FURNISH TYPEWRITTEN AGENDA WITH MEETING MINUTES AND ANY NECESSARY SUPPORTING DOCUMENTATION A MINIMUM OF 24 HOURS TO THE MEETING TO ALL PARTIES SCHEDULED TO ATTEND.
- 1.1.1. PRE-BID WALK-THROUGH
- 1.1.2. PRE-CON 1.1.3. [WEEKLY] [BI-MONTHLY] [MONTHLY]
- 1.1.4. PRELIMINARY CLOSE OUT
- 1.1.5. FINAL CLOSEOUT 1.2. MEETING ATTENDEES: THE FOLLOWING PARTIES SHALL BE PRESENT A
- MEETINGS; ARCHITECT, CONTRACTOR, SUBCONTRACTORS, OWNER'S **REP./LANDLORD**
- 1.3. SUPERINTENDENT: CONTRACTOR SHALL HAVE A QUALIFIED, LICENSED FULL-TIME SUPERINTENDENT ON SITE EACH WORK DAY. SUPERINTEND SHALL NOT BE REPLACED FOR THE DURATION OF THE PROJECT WITHOUT WRITTEN APPROVAL FROM THE <u>LANDLORD</u>
- 1.4. ELECTRONIC COMMUNICATION PROTOCOL: CONTRACTOR'S SUPERINTENDENT SHALL HAVE THE FOLLOWING AVAILABLE FOR THE DURATION OF THE PROJECT:
- 1.4.1. LAPTOP WITH INTERNET ACCESS
- 1.4.2. EMAIL ACCESS THROUGH THE LAPTOP 1.4.3. PRINTER/SCANNER/FAX
- 1.4.4. DIGITAL CAMERA WITH 'TIME/DATE STAMP' CAPABILITY 1.4.5. CELL PHONE
- 2. CONSTRUCTION PROGRESS DOCUMENTATION
- 2.1. CONSTRUCTION SCHEDULE: PRIOR TO BEGINNING THE WORK, CONTRA SHALL SUBMIT A CONSTRUCTION SCHEDULE. COMPLETE WITH ORDER LEAD TIMES FOR ALL MAJOR COMPONENTS, MATERIALS AND EQUIPME SCHEDULE SHALL ALSO INDICATE A BEGINNING AND END DATE FOR E PHASE, IF APPLICABLE, AND A PROJECTED COMPLETION DATE FOR TH ENTIRE PROJECT.
- 2.2. CONSTRUCTION PROGRESS REPORTING: CONTRACTOR SHALL ISSUE WEEKLY PROJECT REPORT TO THE ARCHITECT BY END OF BUSINESS THE LAST DAY OF THE WORK WEEK. REPORT SHALL INCLUDE; 2.2.1. PERSONNEL ON SITE, PER DAY.
- 2.2.2. A DESCRIPTION OF THE WORK COMPLETED.
- 2.2.3. CHANGES IN THE PROJECT SCHEDULE INCLUDING A DESCRIPTION A REASON FOR ANY ANTICIPATED DELAYS IN THE PROJECT. 2.2.4. PHOTOGRAPHIC DOCUMENTATION OF THE WORK TO DATE. A MINIM 25 PICTURES THAT BEST ILLUSTRATE THE CONSTRUCTION PROGRE
- INCLUDING ANY CONDITIONS THAT MAY HAVE AN ADVERSE IMPACT THE CONSTRUCTION SCHEDULE.
- 3. SUBMITTAL PROCEDURES
- 3.1. SUBMITTAL PROCESS: ALL SUBMITTALS, SHOP DRAWINGS AND PRODU DATA SHALL BE REVIEWED AND APPROVED BY CONTRACTOR FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND THE DESIGN PRIOR TO ISSUE TO ARCHITECT. SUBMITTALS SHALL BE SEQUENCED A ISSUED SO AS NOT TO DELAY THE PROJECT, ALLOWING ARCHITECT TH REVIEW TIME INDICATED, INCLUDING POSSIBLE RE-SUBMITTALS. BY IS A SUBMITTAL, THE CONTRACTOR REPRESENTS THAT ITEMS, MATERIAL MEASUREMENTS AND CRITERIA HAVE BEEN VERIFIED. COORDINATED ARE IN CONFORMANCE WITH THE INTENT OF THE CONTRACT DOCUME
- 3.2. REQUIRED SUBMITTALS: CONTRACTOR SHALL SUBMIT ELECTRONIC CO SUBMITTALS. ITEMS REQUIRING SUBMITTALS INCLUDE:
- 3.2.1. INTERIOR FINISHES
- 3.2.2. LIGHT FIXTURES 3.2.3. FIRE-STOPPING PRODUCTS 3.2.4. OTHER SPECIFIED ITEMS REQUIRING SUBMITTALS 3.3. ARCHITECT'S SUBMITTAL REVIEW: WITHIN (7) WORKING DAYS OF RECE FROM CONTRACTOR, ARCHITECT SHALL REVIEW, COMMENT AND RETU PROPERLY PREPARED SUBMITTALS. SUBMITTALS NOT IN CONFORMAN
- WITH THE INTENT OF THE CONTRACT DOCUMENTS SHALL BE RETURNE WITHOUT A REVIEW AND SHALL REQUIRE A RE-SUBMITTAL. 3.4. SUBMITTAL REVIEW LIMITATIONS: ARCHITECT'S REVIEW IS LIMITED TO CONFORMANCE WITH DESIGN INTENT ONLY. REVIEW AND APPROVAL O INDIVIDUAL COMPONENT DOES NOT CONSTITUTE REVIEW AND APPROY A SYSTEM OR ASSEMBLY WHICH THE COMPONENT IS A PART OF. ARCH RESERVES THE RIGHT TO WITHHOLD APPROVAL UNTIL ADDITIONAL DOCUMENTATION OF THE SYSTEM OR ASSEMBLY IS PROVIDED.
- 4. SPECIAL PROCEDURES 4.1. SAFETY REQUIREMENTS: CONTRACTOR SHALL BEAR SOLE RESPONSIE FOR JOBSITE SAFETY AT ALL TIMES. CONTRACTOR SHALL ADHERE TO

	APPLICABLE STATE, FEDERAL AND INDUSTRY SAFETY REGULATIONS,
.L LITY	4.2. SAFETY COORDINATOR: CONTRACTOR SHALL APPOINT AND RETAIN A
ALL BE	SAFETY COORDINATOR FOR THE DURATION OF THE PROJECT. SAFETY COORDINATOR SHALL HOLD REGULARLY SCHEDULED SAFETY TRAINING
Y	MEETINGS. MEETINGS SHALL BE ATTENDED BY ALL JOBSITE PERSONNEL AND SUBCONTRACTORS.
	4.3. <u>LIFE SAFETY COMPONENTS AND SYSTEMS</u> : CONTRACTOR SHALL MAINTAIN ALL EXITS AND CLEAR TRAVEL PATHS THERETO AT ALL TIMES. CONTRACTOR
	SHALL PROVIDE AND MAINTAIN EXIT LIGHTING, EMERGENCY LIGHTING, FIRE PROTECTION DEVICES, ALARMS AND FIRE EXTINGUISHERS AT ALL TIMES.
	4.4. <u>SPECIAL AND THIRD PARTY INSPECTION AND TESTING</u> : IF INDICATED ON THE TITLE SHEET, THIRD PARTY TESTING SHALL BE REQUIRED ON THE
-	COMPONENTS, WORK AND/OR SYSTEMS INDICATED. 4.4.1. CONTRACTORS OBLIGATION: CONTRACTOR SHALL REVIEW AND
R	COORDINATE THE INSPECTIONS INDICATED WITH THE ARCHITECT PRIOR
	TO BEGINNING THE WORK. CONTRACTOR SHALL NOT COVER UP WORK REQUIRED TO BE INSPECTED UNTIL DIRECTED BY ARCHITECT.
, ETC., UTION.	4.4.2. INSPECTION NOTIFICATION: CONTRACTOR SHALL NOTIFY ARCHITECT THREE (3) WORKING DAYS BEFORE INSPECTION IS REQUIRED AND
R FOR	SCHEDULE WORK TO ACCOMMODATE SPECIAL INSPECTIONS, INCLUDING TIME REQUIRED FOR CORRECTIVE ACTION.
	4.4.3. <u>CORRECTIVE ACTION</u> : WORK REQUIRING CORRECTIVE MEASURES SHALL BE PERFORMED BY THE CONTRACTOR, IN STRICT ACCORDANCE WITH
OPE AT	DIRECTION FROM THE ARCHITECT. CONTRACTOR SHALL SCHEDULE CORRECTIVE MEASURES SO AS NOT TO ADVERSELY IMPACT THE
NT. CE	CONSTRUCTION PROGRESS. WORK WHICH HAS BEEN CORRECTED MAY BE SUBJECT TO RE-INSPECTION AT THE DISCRETION OF THE A.H.J AND/
	OR THE ARCHITECT. CONTRACTOR SHALL BEAR COSTS FOR THE CORRECTION OF WORK, INCLUDING THE UNCOVERING AND
	REPLACEMENT OF THE WORK IN ADDITION TO RE-INSPECTION FEES AND DELAYS IN THE PROJECT ATTRIBUTABLE TO IMPROPER COORDINATION
TION(S)	AND EXECUTION OF THE INSPECTION AND WORK. 4.5. HAZARDOUS MATERIALS: <u>LANDLORD</u> SHALL BE SOLELY RESPONSIBLE FOR
ACTOR	HAZARDOUS MATERIAL IDENTIFICATION, TESTING AND ABATEMENT AND SHALL NOTIFY ARCHITECT SHOULD HAZARDOUS MATERIALS BE PRESENT,
	OR THOUGHT TO BE PRESENT. SHOULD HAZARDOUS MATERIALS, OR THOSE RESEMBLING HAZARDOUS MATERIALS, BE DISCOVERED AT ANY TIME BY ANY
	PARTY DURING THE PROJECT, <u>LANDLORD, OWNER</u> SHALL PROMPTLY RETAIN A QUALIFIED EXPERT TO TEST, ABATE AND DISPOSE OF ALL HAZARDOUS
RIATE SHALL	MATERIALS. <u>LANDLORD</u> SHALL FURNISH PROOF OF ABATEMENT TO ARCHITECT PRIOR TO RESUMPTION OF THE WORK.
	4.6. INDEMNIFICATION: LANDLORD, TENANT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS CONSULTANTS, EMPLOYEES, OFFICERS AND AGENTS
PRIOR	HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF, OR DAMAGE TO, SUCH ENTITIES OR PERSONS, INCLUDING LEGAL FEES AND EXPENSES
	RESULTING FROM HAZARDOUS MATERIAL DISCOVERY AND OR EXPOSURE ON THE PROJECT.
AT THE	01 40 00 QUALITY REQUIREMENTS
<u>.</u>	QUALITY REQUIREMENTS ONTRACTOR/SUBCONTRACTOR QUALIFICATIONS: CONTRACTOR AND ALL
D, DENT	SUBCONTRACTORS SHALL BE PROPERLY EXPERIENCED, LICENSED AND INSURED. PROVIDE PROOF OF ALL REQUIRED LICENSES TO <u>LANDLORD</u>
OUT	PRIOR TO EXECUTION OF <u>LANDLORD</u> -CONTRACTOR AGREEMENT. 1.2. <u>REGULATION COMPLIANCE</u> : CONTRACTOR SHALL COMPLY WITH ALL LOCAL,
	STATE AND FEDERAL REGULATIONS REQUIRED BY ALL A.H.J.'S OVER ALL ASPECTS OF THE WORK AND WORK SITE.
	1.3. <u>TESTING AND INSPECTIONS</u> : CONTRACTOR SHALL ARRANGE, SCHEDULE AND PAY FOR ALL INSPECTIONS NECESSARY TO OBTAIN THE CERTIFICATE OF
	OCCUPANCY (C OF O). 1.4. QUALITY OF WORK: CONTRACTOR SHALL PERFORM AND INSTALL ALL WORK
	IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE INDUSTRY STANDARDS IN A PROFESSIONAL AND WORKMANLIKE
	MANNER. CONTRACTOR AND SUBCONTRACTORS SHALL BEAR ALL MATERIAL, LABOR AND REPLACEMENT COST(S) INCURRED FROM, BUT NOT LIMITED TO,
ACTOR RING	POOR WORKMANSHIP AND DEFECTIVE MATERIALS, AS WELL AS COSTS INCURRED WHICH AFFECT THE LANDLORD'S ABILITY TO PERFORM ITS WORK,
ENT. ACH	STOCK OR OCCUPY THE WORK SITE. 1.5. MOCK-UPS: PROVIDE (1) 4' x 4' MOCK-UP PANEL FOR EACH ASSEMBLY
IE	INDICATED AS REQUIRING MOCK UPS IN THE CONTRACT DOCUMENTS.
ON	01 50 00 TEMPORARY FACILITIES AND CONTROLS
	1. <u>TEMPORARY UTILITIES</u> 1.1. TEMPORARY UTILITY REQUIREMENTS: CONTRACTOR SHALL PROVIDE AND
AND	INSTALL TEMPORARY POWER, LIGHTING, HVAC AND OTHER UTILITIES AS REQUIRED TO PERFORM THE WORK AND AS REQUIRED TO ADHERE TO ALL
1UM OF	PRODUCT AND EQUIPMENT INSTALLATION PROCEDURES.
ESS, ON	2. <u>TEMPORARY FACILITIES</u> 2.1. TEMPORARY FIELD OFFICE: IF NO ONSITE FACILITIES ARE AVAILABLE TO ACT
	AS FIELD OFFICE, CONTRACTOR SHALL PROVIDE TEMPORARY FIELD OFFICE OF SUFFICIENT SIZE TO ACCOMMODATE PROJECT MEETINGS.
JCT	2.2. <u>FIRST AID</u> : CONTRACTOR SHALL PROVIDE AND HAVE AVAILABLE ON SITE TO ALL PERSONS, O.S.H.A. REQUIRED SAFETY EQUIPMENT AND FIRST AID
INTENT	MATERIALS FOR THE DURATION OF THE PROJECT. 2.3. SANITARY FACILITIES: CONTRACTOR SHALL PROVIDE, SERVICE AND
AND HE	MAINTAIN TEMPORARY TOILET(S) IN ACCORDANCE WITH O.S.H.A. AND/OR A.H.J. REQUIREMENTS.
SUING LS,	2.3.1. IF <u>TENANT</u> APPROVED BASE BUILDING TOILETS ARE AVAILABLE TO CONTRACTOR, THEY SHALL BE KEPT CLEAN AND PROTECTED FROM
AND ENTS.	DAMAGE THROUGHOUT THE PROJECT AND BE TURNED OVER IN THE SAME CONDITION AS ORIGINALLY RECEIVED.
OPY OF	2.4. <u>SCAFFOLDING AND PLATFORMS</u> : CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL SCAFFOLDING AND PLATFORMS ACCORDING TO
	REQUIREMENTS OF ALL A.H.J.'S AND ALL APPLICABLE STATE, FEDERAL AND LOCAL REGULATIONS.
	2.5. STAGING AREAS: CONTRACTOR SHALL ASSURE STAGING AREAS SUBJECT
	TO CONSTRUCTION ACTIVITY, MATERIALS AND EQUIPMENT ARE SUFFICIENT FOR THE IMPOSED LOADS.
JRN ICE	2.6. <u>TEMPORARY ENCLOSURE(S)</u> : CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE(S) WITH SECURE ACCESS POINT(S) INDICATED AND/OR AS
ED	REQUIRED BY THE <u>TENANT & LANDLORD</u> AND A.H.J. TEMPORARY ENCLOSURE(S) SHALL BE CONTINUOUS, SELF-SUPPORTED AND SUFFICIENT
	IN HEIGHT AND STRENGTH TO PREVENT UNAUTHORIZED ACCESS. TEMPORARY ENCLOSURE(S) SHALL BE STRUCTURALLY SUFFICIENT TO
VAL OF HITECT	RESIST THE EFFECTS OF THE HIGHEST WIND INDICATED FOR THE WORK SITE IN THE CURRENT BUILDING CODE.
	2.7. LANDLORD ACCESS TO WORK SITE: CONTRACTOR SHALL PROVIDE LANDLORD WITH (1) SET OF KEYS TO THE SECURED ENCLOSURE(S)
BILITY	ASSURING COMPLETE LANDLORD ACCESS TO THE SITE.
ALL	

- 2.8. TEMPORARY FIRE PROTECTION: CONTRACTOR SHALL PROVIDE EQUIPMENT AND PREVENTATIVE MEASURES TO PROTECT AGAINST EFFECTS OF FIRE. 2.9. TEMPORARY WORK SIGNAGE: CONTRACTOR SHALL PROVIDE AND INSTALL
- TEMPORARY INSTRUCTIONAL AND SAFETY SIGNAGE IN ACCORDANCE WITH O.S.H.A. AND A.H.J. REQUIREMENTS.
- 01 60 00 PRODUCT REQUIREMENTS
- 1. OWNER-SUPPLIED ITEMS

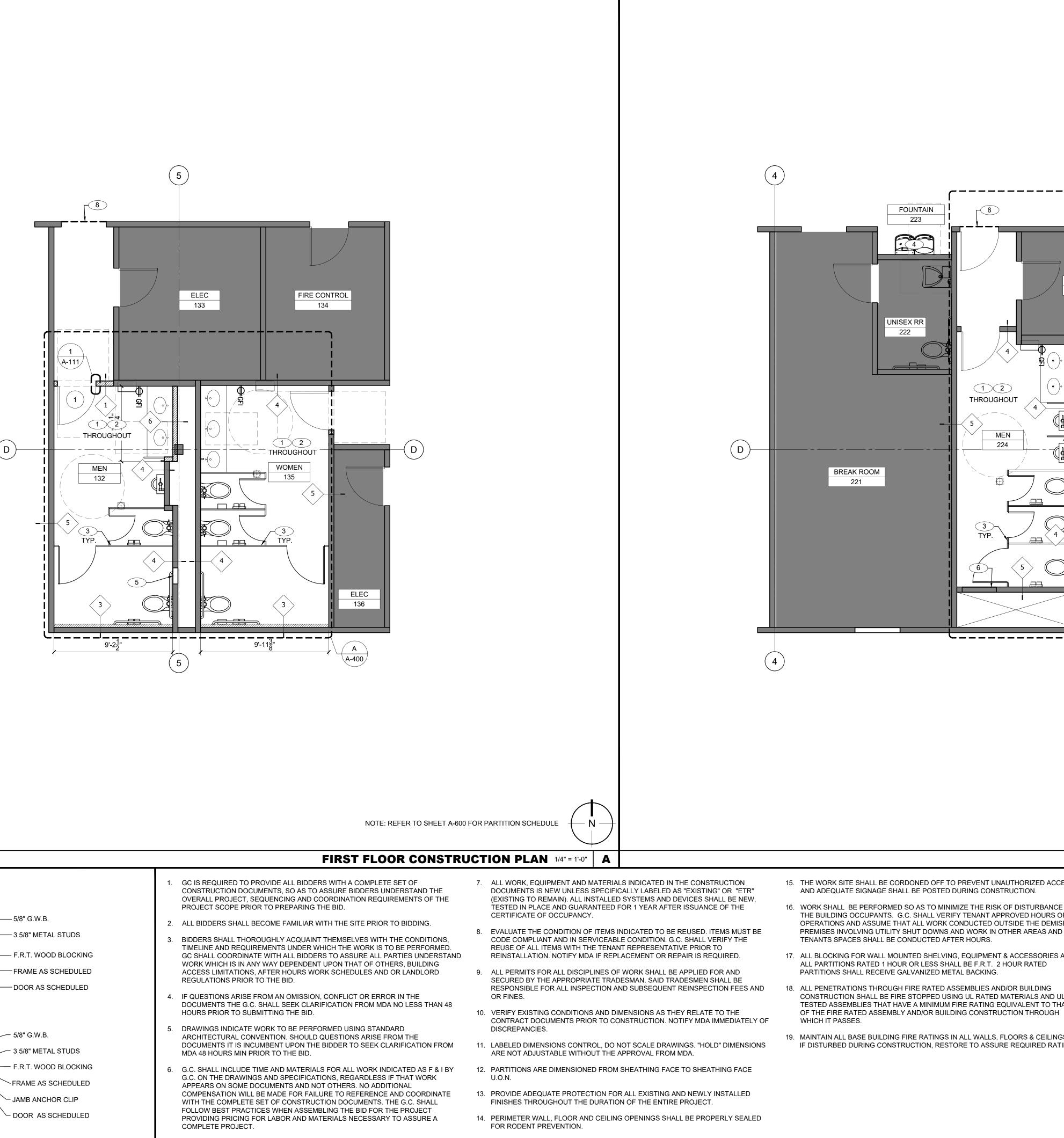
- 1.1. CONTRACTOR RESPONSIBILITIES FOR OWNER'S ITEMS: CONTRACTOR SHAL BE RESPONSIBLE FOR COORDINATION, RECEIPT, UNLOADING, QUANTITY/CONDITION VERIFICATION, STORAGE, ASSEMBLY AND INSTALLATION OF OWNER SUPPLIED ITEMS (REFER TO RESPONSIBILITY
- SCHEDULE) AND NOTIFY OWNER'S REPRESENTATIVE OF MISSING AND/OR DAMAGED ITEMS WITHIN 24 HRS. OF RECEIPT. 2. DELIVERY REQUIREMENTS
- 2.1. DELIVERY COORDINATION: CONTRACTOR SHALL ADHERE TO THE BUILDING RULES AND REGULATIONS GOVERNING DELIVERIES AND STORAGE OF EQUIPMENT AND MATERIALS. DATES AND TIMES OF DELIVERIES SHALL BE CONFIRMED WITH THE PERSON(S) HAVING AUTHORITY OVER ACCESS TO THE PREMISES AND/OR WORK SITE. 2.2. DELIVERY FEES: ALL FEES AND OR EXPENSES RELATING TO DELIVERIES,
- INCLUDING EXPEDITED SHIPPING COSTS, INCLUDING THAT OF SECURITY POLICE AND LABOR DETAILS, SHALL BE PAID FOR BY CONTRACTOR.
- 2.3. DELIVERY ROUTES: CONTRACTOR SHALL VERIFY SIZE OF OPENINGS, CORRIDORS, STAIRS, ELEVATORS AND THEIR RESPECTIVE CONFIGURATIONS AND WEIGHT CAPACITIES PRIOR TO DELIVERING MATERIALS AND/OR EQUIPMENT TO THE WORK SITE.
- 2.4. RIGGING: CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF PERMITS, INSTALLATION AND/OR OPERATION OF HOISTING/RIGGING SYSTEMS, EQUIPMENT, TRAFFIC CONTROL DETAILS AND THE REMOVAL AND REINSTALLATION OF WINDOWS AND/OR FIXED PANELS.
- 3. PRODUCT STORAGE AND HANDLING REQUIREMENTS 3.1. STORAGE AND HANDLING: CONTRACTOR SHALL USE CARE TO MOVE AND
- HANDLE ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. SECURELY STORE ALL MATERIALS AND REGULARLY PERFORM QUANTITY VERIFICATION 3.2. CONSTRUCTION LOADING: CONTRACTOR SHALL ASSURE STAGING AND
- STORAGE AREAS ARE STRUCTURALLY SUFFICIENT FOR THE LOADS IMPOSE DURING CONSTRUCTION. RETAIN A LICENSED ENGINEER TO PERFORM ANALYSIS AS REQUIRED TO ASSURE SAFE STRUCTURE LOADING.
- 01 70 00 EXECUTION AND CLOSEOUT REQUIREMENTS
- 1. EXECUTION AND CLOSEOUT REQUIREMENTS
- 1.1. MOBILIZATION: UPON NOTICE TO PROCEED FROM THE LANDLORE CONTRACTOR SHALL MOBILIZE AND TAKE POSSESSION OF THE WORK SITE. 1.2. VERIFICATION OF CONDITIONS: PRIOR TO BEGINNING WORK, AND CONTINUOUSLY DURING WORK, CONTRACTOR SHALL VERIFY ALL
- DIMENSIONS AND EXAMINE COMPONENTS, SYSTEMS AND CONDITIONS THAT WORK INTERFACES WITH AND/OR IS DEPENDENT UPON TO ASSURE CODE, MANUFACTURER AND CONTRACT DOCUMENT CONFORMANCE.
- 1.3. DISCREPANCIES AND UNFORESEEN CONDITIONS: CONTRACTOR SHALL IMMEDIATELY REPORT ANY AND ALL DISCREPANCIES, ERRORS, AND OMISSIONS INCLUDING UNFORESEEN CONDITIONS THAT PREVENT THE PROPER EXECUTION OF THE WORK TO ARCHITECT PRIOR TO PERFORMING WORK. DISCREPANCIES, ERRORS AND/OR OMISSIONS INCLUDING THE WOR ASSOCIATED WITH AND/OR REQUIRED TO CORRECT, PROVIDE AND/OR INSTALL THE WORK PROPERLY, WHICH IS NOT IMMEDIATELY BROUGHT TO ARCHITECT'S ATTENTION WILL BE DEEMED AS HAVING BEEN INCLUDED IN THE CONTRACTORS PRICE AND SHALL NOT BE COMPENSABLE. CORRECTIO OF THE AFOREMENTIONED BY THE CONTRACTOR SHALL BE PROVIDED REGARDLESS OF THE ADDITIONAL COSTS, DIFFICULTY OR QUANTITY OF MATERIALS NECESSARY AND SHALL BE IN ACCORDANCE WITH THE LANDLORD APPROVED CONSTRUCTION SCHEDULE AND SUBJECT TO THE ARCHITECT'S INTERPRETATION AND APPROVAL.
- 1.4. FIELD ENGINEERING: CONTRACTOR, AT ITS SOLE COST, SHALL PROVIDE ENGINEERING CALCULATIONS AND DRAWINGS FROM A PROFESSIONAL LICENSED IN THE APPROPRIATE JURISDICTION AS REQUIRED FOR THE PROPER AND TIMELY EXECUTION OF THE WORK, INCLUDING THE USE OF SAID DOCUMENTS TO OBTAIN APPROVALS FROM THE A.H.J. AND ARCHITEC REFER TO RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION. PLAN DIMENSION PROTOCOL: DIMENSIONS INDICATED ARE TAKEN FROM
- FACE OF SHEATHING TO FACE OF SHEATHING U.O.N. 1.6. DIMENSIONS: DO NOT SCALE DRAWINGS; LABELED DIMENSIONS GOVERN. IF DIMENSIONS REQUIRED TO COMPLETE THE WORK ARE NOT PROVIDED. FIELD CONDITIONS VARY AND/OR CONFLICTS RESULT IN LABELED DIMENSIONS NOT BEING ACHIEVABLE. REQUEST IMMEDIATE CLARIFICATION FROM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS LABELED "HOLD" OR "CLEAR" ARE ABSOLUTES AND AS SUCH ARE NOT PERMITTED TO BE ALTERED EVEN IN THE EVENT THAT DIMENSIONAL ADJUSTMENTS ARE REQUIRED. SHOULD DIMENSIONS BE ALTERED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT, CONTRACTOR SHALL ASSUM ALL COSTS FOR, AND RESULTING FROM, CORRECTION OF THE WORK TO THE SATISFACTION OF THE ARCHITECT.
- 1.7. CONSTRUCTION SURVEYING: CONTRACTOR SHALL PROVIDE SURVEYING WORK FROM A PROFESSIONAL LICENSED IN THE JURISDICTION AS NECESSARY FOR THE PROPER EXECUTION OF WORK.
- 1.8. PROTECTION OF CONSTRUCTION AND ADJACENT AREAS: CONTRACTOR SHALL PROVIDE PROTECTION FROM DAMAGE FOR INSTALLED AND EXISTING WORK INCLUDING BUT NOT LIMITED TO FINISHED SURFACES. FLOORING. EQUIPMENT AND MILLWORK FOR THE DURATION OF THE PROJECT.
- 1.9. REPAIR OF DAMAGE: CONTRACTOR SHALL REPAIR ALL DAMAGE AND/OR REPLACE DAMAGED MATERIAL CAUSED BY CONTRACTOR AND/OR ITS SUBCONTRACTORS AT THEIR SOLE EXPENSE AND TO THE SATISFACTION OF THE ARCHITECT AND IN CONFORMANCE WITH THE CONTRACT CONSTRUCTION SCHEDULE.
- 1.10. DUST CONTROL: CONTRACTOR SHALL PROVIDE DUST CONTROL BARRIERS, FILTERS AND PROTECTION AGAINST DUST MIGRATION.
- 1.11. NON-DESTRUCTIVE CONCRETE EXAMINATION: PRIOR TO EXECUTING WORK THAT REQUIRES CONCRETE SLAB PENETRATION, CONTRACTOR SHALL X-RAY ALL AREAS REQUIRING PENETRATION TO VERIFY THE AREA IS FREE OF STRUCTURAL IMPEDIMENTS AND/OR CONCEALED UTILITIES. SHOULD PENETRATIONS NOT BE ABLE TO OCCUR IN THE AREAS INDICATED ON THE DRAWINGS, CONTACT THE ARCHITECT IMMEDIATELY.
- 1.12. SLAB PENETRATION APPROVAL PROTOCOL: AFTER SUITABLE PENETRATION POINTS HAVE BEEN IDENTIFIED AND PRIOR TO PERFORMING ANY CONCRETE WORK CONTRACTOR SHALL PRODUCE A CORING FIELD SKETCH WITH DIMENSIONS AND SCHEDULED DAY(S) AND TIME(S) FOR THE WORK WHICH SHALL BE SUBMITTED TO THE LANDLORD FOR APPROVAL. D NOT PERFORM ANY CONCRETE WORK WITHOUT WRITTEN APPROVAL FROM LANDLORD.
- 2. EXECUTION
- 2.1. MEANS AND METHODS: CONTRACTOR SHALL HAVE CONTROL AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, INCLUDING, BUT NOT LIMITED TO, TECHNIQUES, SEQUENCING AND PROCEDURES, AND FOR COORDINATING ALL FACETS OF THE WORK.

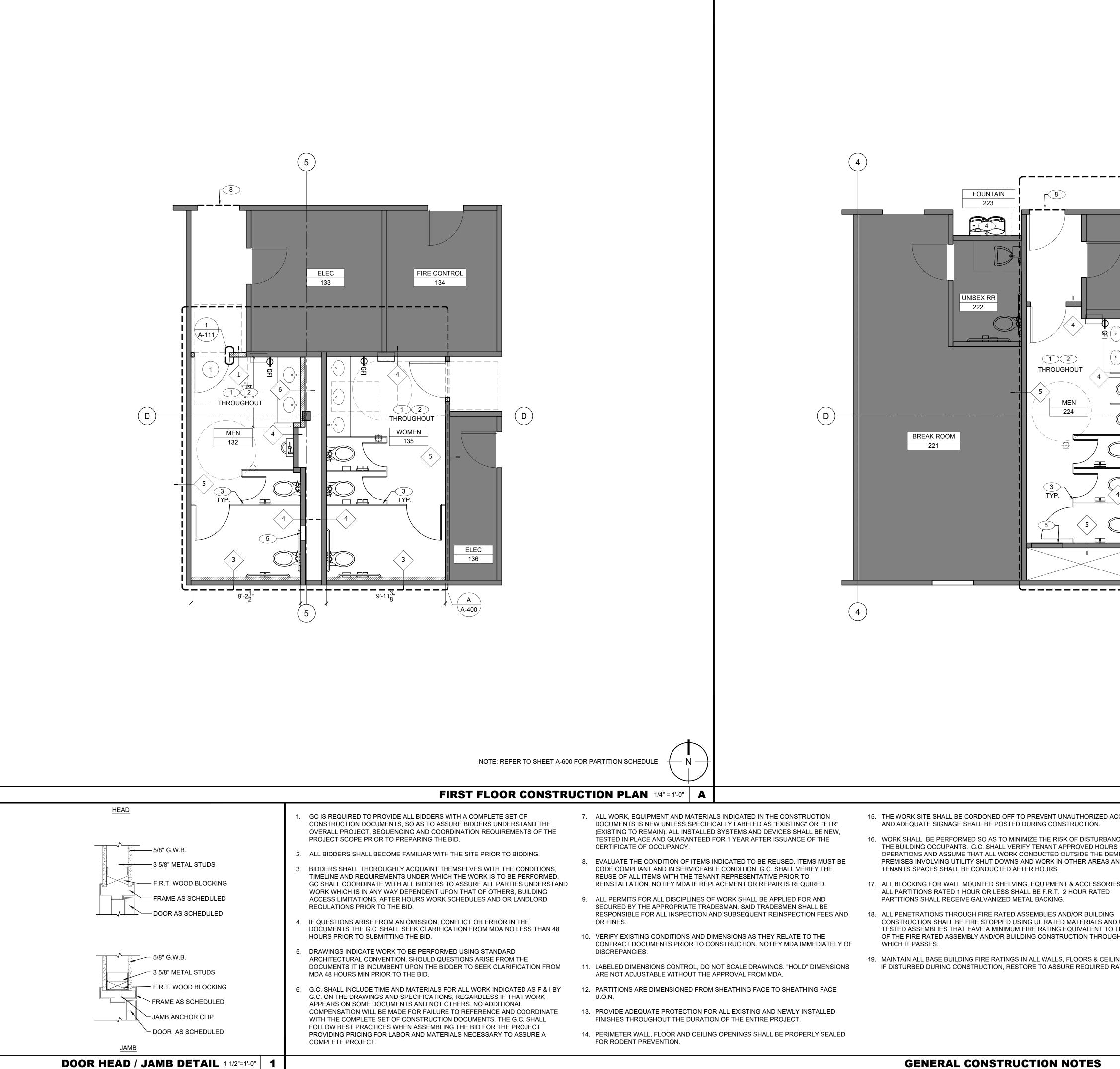
-	2.2.	BEST PRACTICE: WHERE THE CONTRACT DOCUMENTS REQUIRE WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY CODE OR ANY A.H.J., THE CONTRACTOR AND/OR ITS SUBCONTRACTORS SHALL PROVIDE THE WORK INDICATED IN THE CONTRACT DOCUMENTS	
	2.2.	WORK INDICATED IN THE CONTRACT DOCUMENTS. 1. SURFACES SCHEDULED TO RECEIVE FINISHES SHALL BE CLEAN, LEVEL, PLUMB AND WITHOUT DEFECTS. REPAIR ALL DEFECTS AND IRREGULAR	
L	2.2.	CONDITIONS PRIOR TO PROCEEDING WITH FINISH WORK. 2. ALL MATERIALS AND EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS. CONTRACTOR SHALL ASSURE INSTALLATION OF ALL MATERIALS AND	ARCHITECTURE MILLENNIUM DESIGN ASSOCIATES, INC 1599 WASHINGTON ST, SUITE 1A
-	2.3.	EQUIPMENT MEETS MANUFACTURER'S WARRANTY CONDITIONS. <u>ADDITIONAL REQUIREMENTS OF THE A.H.J.</u> : SHOULD THE A.H.J. REQUIRE THE CONTRACTOR OR SUBCONTRACTOR TO PROVIDE WORK OF A MORE STRINGENT NATURE THAN THAT WHICH IS REQUIRED BY THE CONTRACT	BRAINTREE, MA 02184 PHONE: 781.843.9400
	2.4.	DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY PRIOR TO PROCEEDING WITH THE WORK. BRACING AND ANCHORING: CONTRACTOR SHALL COORDINATE AND INSTALL BLOCKING AND BRACING FOR MILLWORK, EQUIPMENT AND ITEMS ATTACHED	www.MDAarchitecure.com EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP
	2.5.	OR MOUNTED TO WALLS, FLOORS AND CEILINGS. EXISTING PRODUCTS AND MATERIALS: EXISTING ITEMS, FIXTURES, AND EQUIPMENT NOT SCHEDULED FOR REMOVAL SHALL BE EVALUATED BY THE CONTRACTOR FOR CODE COMPLIANCE, CONDITION AND SUITABILITY FOR	PROJECT NO : MHI-1379
		RE-USE. NOTIFY ARCHITECT IMMEDIATELY IF SAID ITEMS ARE NOT SUITABLE FOR RE-USE. DO NOT REINSTALL DAMAGED OR UNSUITABLE ITEMS.	SEAL
IS		REFURBISHING OF EXISTING MATERIALS AND EQUIPMENT: WHERE POSSIBLE, REFURBISH RE-USED ITEMS, REFINISH AND/OR REPLACE MISSING OR BROKEN PARTS TO ACHIEVE A LIKE NEW APPEARANCE. SHOULD THE COST OF REFURBISHING EXCEED THAT OF REPLACEMENT OF ITEM, NOTIFY ARCHITECT IMMEDIATELY FOR APPROVAL.	MARSHFEED MA
		CUTTING AND PATCHING: CONTRACTOR SHALL PROVIDE ANY CUTTING AND PATCHING NECESSARY TO INSTALL THE ITEM(S) INDICATED IN THE CONTRACT DOCUMENTS.	DATE : 12/29/21
		ANING AND WASTE MANAGEMENT WORK SITE CLEANING: CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA THROUGHOUT THE PROJECT. ALL AREAS SHALL BE BROOM-SWEPT AT THE END OF EACH WORK DAY.	CONSULTANT :
D		CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL: MATERIALS REMOVED FROM SITE SHALL BE TRANSPORTED AND DISPOSED OF LEGALLY AND IN ACCORDANCE WITH A.H.J. CONTRACTOR SHALL PROVIDE PROOF OF LEGAL DISPOSAL OF MATERIALS TO OWNER PRIOR TO FINAL PAYMENT. FINAL CLEANING: THE PROJECT SHALL BE PROFESSIONALLY CLEANED TO	
	4 CLC	THE SATISFACTION OF THE ARCHITECT PRIOR TO BEING TURNED OVER TO THE <u>LANDLORD</u> .	
		PRELIMINARY CLOSEOUT REVIEW: CONTRACTOR SHALL CONDUCT A PRE-CLOSEOUT INSPECTION WITH ALL SUBCONTRACTORS AND IDENTIFY	CLIENT :
Т		AND CORRECT ANY AND ALL ITEMS NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. UPON COMPLETION OF CORRECTIONS, CONTRACTOR SHALL SCHEDULE A 'PUNCH LIST' MEETING WITH THE ARCHITECT. THE ARCHITECT AND THEIR CONSULTANTS WILL PREPARE A PUNCH LIST AND CONTRACTOR SHALL BE GIVEN (14) DAYS TO COMPLETE. AT THE END OF THIS TIME PERIOD A FINAL CLOSEOUT REVIEW WILL TAKE	MURRAY HILLS, INC. 27 CAMBRIDGE ST
К	4.2.	PLACE. <u>FINAL CLOSEOUT REVIEW INSPECTION</u> : THE GENERAL CONTRACTOR'S CONSTRUCTION SUPERINTENDENT AND ANY OTHER SUBCONTRACTORS DEEMED APPROPRIATE BY THE ARCHITECT MUST BE PRESENT DURING THE FINAL INSPECTION. CONTRACTOR SHALL SUBMIT THE FOLLOWING ITEMS TO	SUITE #200 BURLINGTON, MA 01803
N	4.2.	THE ARCHITECT PRIOR TO REQUESTING A FINAL INSPECTION: 1. COMPLETED PUNCH LIST 2. HVAC TEST AND BALANCE REPORT 3. SPRINKLER SYSTEM ACCEPTANCE TEST AND REPORT	KEY PLAN :
	4.2. 4.2.	 4. FIRE ALARM REPORT 5. MSD SHEETS FOR ALL INSTALLED MATERIALS 	
Г.		COMPLETION AND CORRECTION LIST: UPON COMPLETION OF THE PUNCH LIST, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING CERTIFYING THAT ALL ITEMS HAVE BEEN PROPERLY COMPLETED. IF AT THE LANDLORD'S DISCRETION ANOTHER REVIEW OF THE COMPLETED ITEMS IS REQUIRED BY	
-	5.2.	THE ARCHITECT THEN THE SAME PROCESS USED IN THE PRELIMINARY CLOSE OUT REVIEW SHALL OCCUR UNTIL ALL ITEMS ARE COMPLETED TO THE SATISFACTION OF THE <u>LANDLORD</u> . <u>OPERATION AND MAINTENANCE DATA</u> : CONTRACTOR SHALL PROVIDE A	
I	5.3.	LABELED THREE-RING BINDER WITH OPERATIONAL MANUALS AND WARRANTY INFORMATION FOR ALL SYSTEMS AND EQUIPMENT IN THE CONTRACT DOCUMENTS. PROJECT RECORD DOCUMENTS: CONTRACTOR SHALL PROVIDE (1) SET OF	
T E	5.4.	AS-BUILT DRAWINGS IN THE FORM OF RED-LINED FULL-SIZE DRAWINGS FOR ALL TRADES AT THE END OF THE PROJECT. <u>EXTRA STOCK MATERIALS</u> : WHERE INDICATED IN THE CONTRACT DOCUMENTS, EXTRA STOCK SHALL BE LABELED, BOXED AND STORED AS	PROJECT LOCATION :
E	5.5.	DIRECTED BY THE <u>LANDLORD</u> . <u>CONTRACTOR'S GUARANTEE</u> : CONTRACTOR SHALL GUARANTEE THE WORK PERFORMED INDICATED IN THE CONTRACT DOCUMENTS FOR A PERIOD OF	U.S. ICE 1000 DISTRICT AVE
3		(1) YEAR AFTER THE DATE INDICATED ON THE CERTIFICATE OF OCCUPANCY. CONTRACTOR'S GUARANTEE SHALL INCLUDE ALL COSTS FOR REMOVING AND REPLACING THE DEFECTIVE WORK.	BURLINGTON, MA 01803
F			ORIGINAL ISSUE DATE
			PROGRESS SET 06.10.2020
<u> </u>			REVISIONS & SUBMISSIONS DATE
			CLIENT COMMENTS 08.17.2020
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1			
			GENERAL REQUIREMENTS
			DRAWING NO :
		GENERAL REQUIREMENTS	G-102
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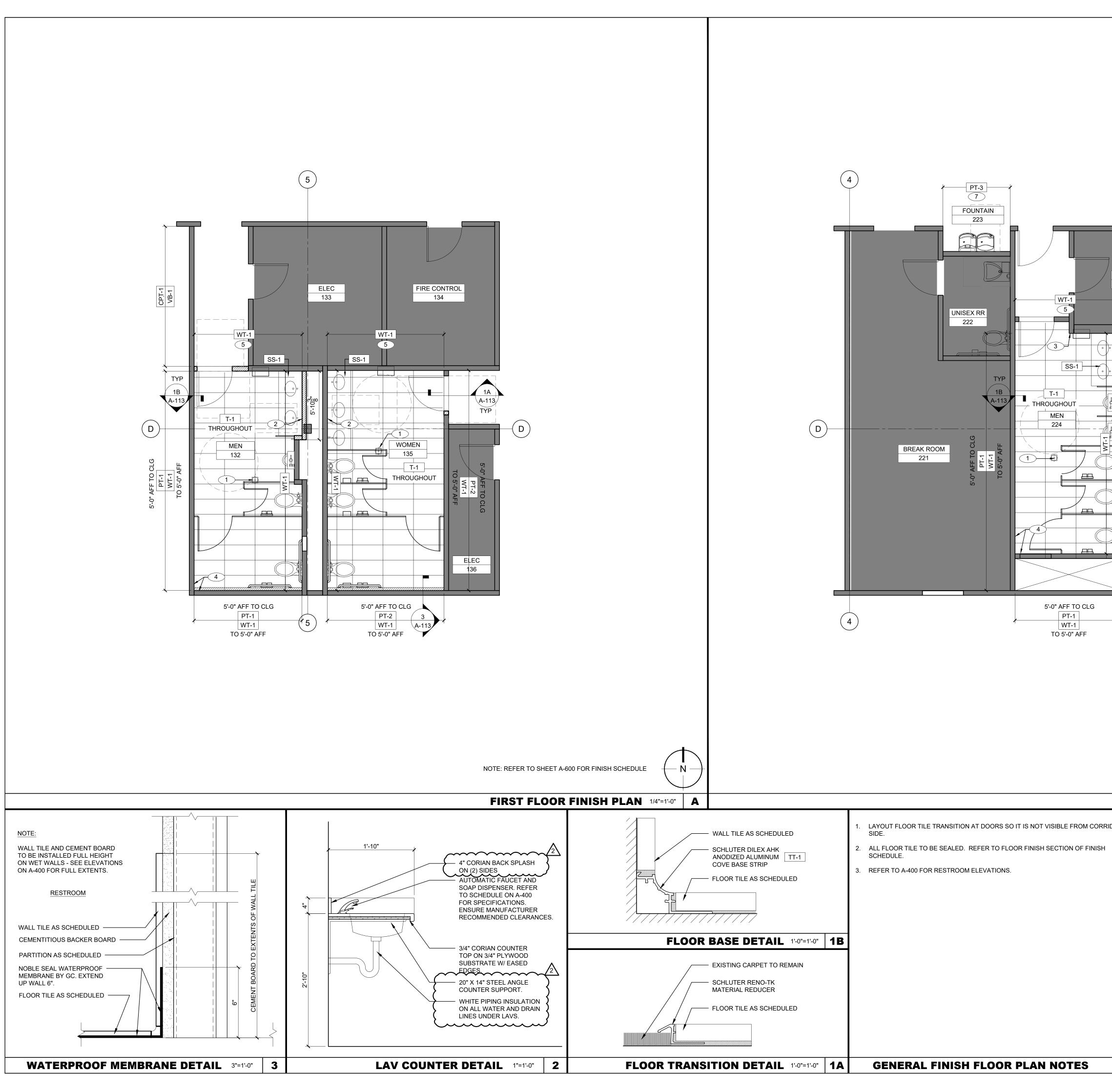
- SELECTIVELY DEMOLISH & COMPLETELY REMOVE FROM THE SITE ITEMS SCHEDULED ON THE DRAWINGS. SAID ITEMS BECOME THE PROPERTY OF THE GENERAL CONTRACTOR. REFER TO GENERAL REQUIREMENTS DRAWING G-102 FOR ADDITIONAL DEMOLITION REQUIREMENTS INCLUDED IN THE PROJECT SCOPE.
- ANY HAZARDOUS MATERIALS DISCOVERED SHALL BE REMOVED FROM THE SITE BY THE LANDLORD IN A TIMELY MANNER. DISPOSAL SHALL BE DONE LEGALLY, IN COMPLIANCE WITH LOCAL ORDINANCES AND STATE ENVIRONMENTAL REGULATIONS.
- 3. COORDINATE REMOVAL OF UTILITY SYSTEMS AND/OR COMPONENTS WITH M.E.P/F.P. DRAWINGS. REMOVE ALL M.E.P./F.P. SYSTEMS OR COMPONENTS THAT DO NOT DEMOLISH COMPONENTS OR SYSTEMS INTENDED TO BE REUSED. SEEK CLARIFICATION FROM ARCHITECT PRIOR TO DEMOLITION IF REQUIRED. GC SHALL BE LIABLE FOR COMPLETE COST OF ALL ITEMS AND WORK IMPROPERLY DEMOLISHED.
- 4. PROVIDE ADEQUATE PROTECTION FOR ALL NEW AND EXISTING FINISHES THROUGHOUT THE DURATION OF THE ENTIRE PROJECT.
- 5. WORK SHALL BE PERFORMED SO AS TO MINIMIZE THE RISK OF DISTURBANCE TO THE BUILDING OCCUPANTS AND ADJACENT TENANTS. GC SHALL VERIFY LANDLORD APPROVED HOURS OF OPERATION AND ASSUME THAT ALL WORK CONDUCTED OUTSIDE THE DEMISED PREMISES INVOLVING UTILITY SHUT DOWNS AND WORK IN OTHER AREAS AND TENANT SPACES SHALL BE CONDUCTED AFTER HOURS.



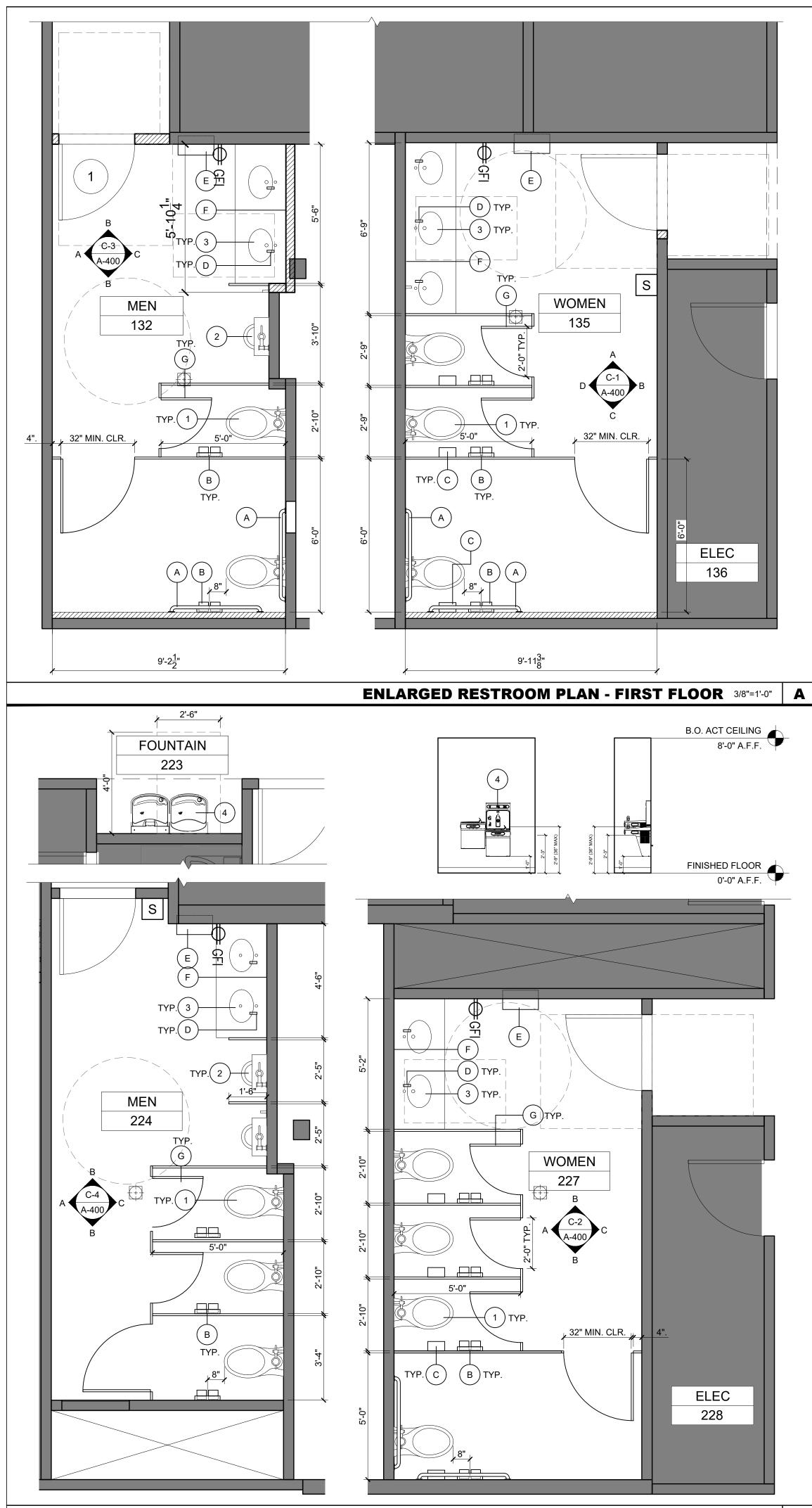


	INTERPOSE INTERPOSE
NOTE: REFER TO SHEET A-600 FOR PARTITION SCHEDULE SECOND FLOOR CONSTRUCTION PLAN 1/4" = 1'-0" KEY NOTE NUMBERS ON ABOVE CONSTRUCTION PLAN DENOTED WITH THIS SYMBOL KEY NOTE NUMBERS ON ABOVE CONSTRUCTION PLAN DENOTED WITH THIS SYMBOL (# CORRESPOND TO THE FOLLOWING ITEMS: 1. PROVIDE FRT BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES AND TOILET PARTITIONS. 1. PROVIDE FRT BLOCKING FOR WALL MOUNTED FIXTURES, ACCESSORIES AND TOILET PARTITIONS. 2. PATCH AND REPAIR ALL WALLS AFFECTED BY THE WORK WITH MATERIAL IN TYPE AND THICKNESS TO MATCH EXISTING. ENSURE A SMOOTH LEVEL SURFACE TO RECEIVE NEW FINISHES. 3. TOILET PARTITIONS. REFER TO ELEVATIONS ON SHEET A-400 FOR	ORIGINAL ISSUE DATE PROGRESS SET 06.10.2020 REVISIONS & SUBMISSIONS DATE 1 CLIENT COMMENTS 08.17.2020 1 I I 1 I I 1 I I
 AT 4. WATER FOUNTAIN INSTALLED IN SAME LOCATION- TYP. OF (3). SEE SHEET A-400 FOR ADDITIONAL INFORMATION. COORDINATE LOCATION OF UNITS TO BE REPLACED WITH LANDLORD. INSTALL FRT BLOCKING AND PATCH WALLS AFTER INSTALLATION IS COMPLETE. PAINT ENTIRE WALL ON WHICH THE FOUNTAIN IS INSTALLED TO THE NEAREST INSIDE OR OUTSIDE CORNER ON EITHER SIDE. COLOR SHALL MATCH EXISTING. 5. FLUSH MOUNT STAINLESS STEEL ACCESS DOOR W/ CYLINDER LOCK AND KEY IN PLACE OF EXISTING ACCESS DOOR. MFGR: ACUDOOR SIZE 16 X 16. GC SHALL FIELD VERIFY SIZE PRIOR TO ORDERING. 6. 1 HOUR RATED FLUSH MOUNT STAINLESS STEEL ACCESS DOOR. MFGR: ACUDOOR SIZE 32 X 32 GC SHALL FIELD VERIFY SIZE PRIOR TO ORDERING. 7. 1 X 4 POPLAR FRAME 8. VISQUEEN POLY DUST BARRIER. 	DRAWING NAME : CONSTRUCTION PLANS
CONSTRUCTION KEY NOTES	DRAWING NO : A-111 COPYRIGHT © 2020 - MILLENNIUM DESIGN ASSOCIATES, INC.

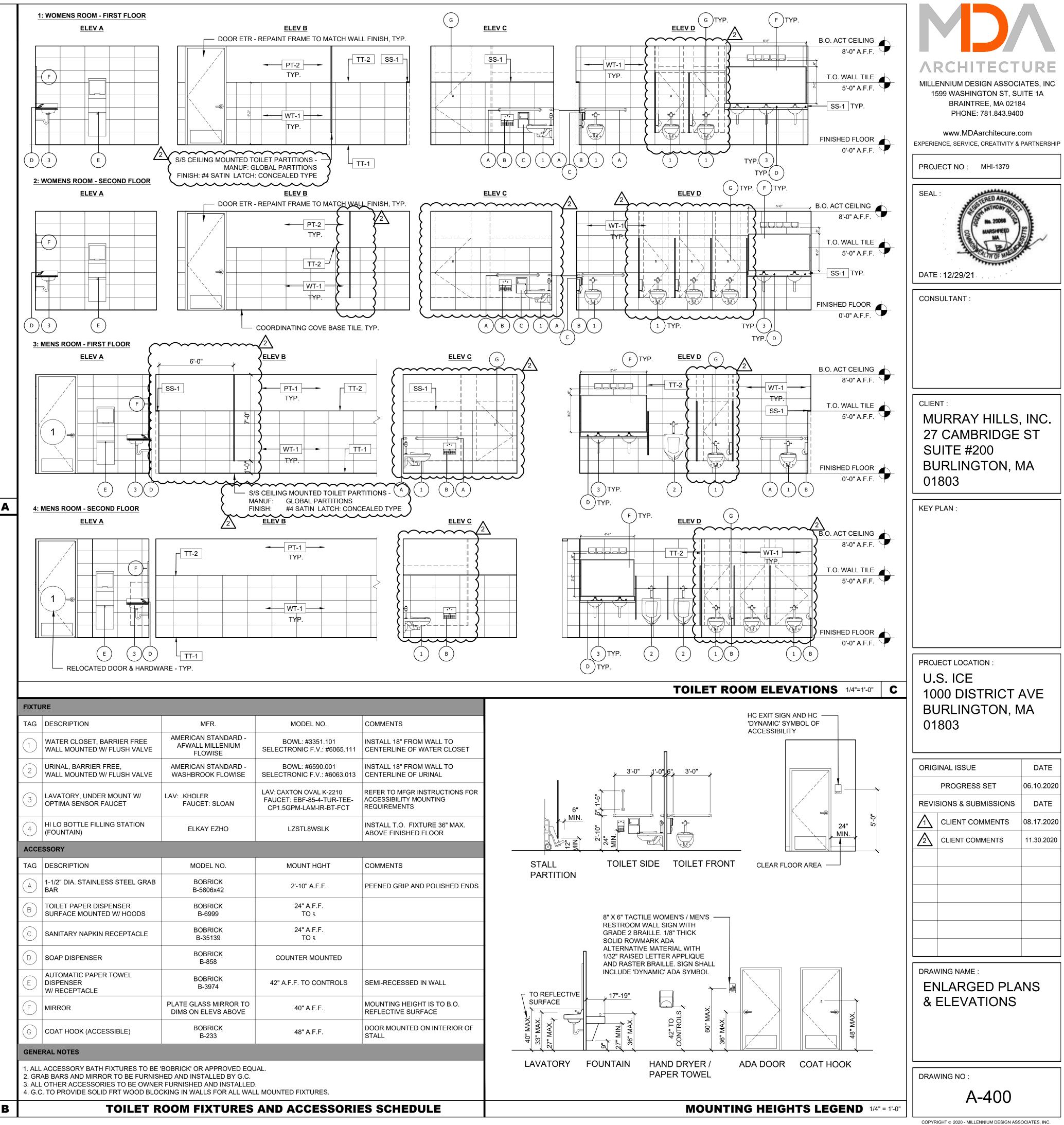




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TO SUP AFF TO SUP AFF TO SUP AFF NOTE: REFER TO SHEET A-600 FOR FINISH SCHEDULE NOTE: REFER TO SHEET A-600 FOR FINISH SCHEDULE SECOND FLOOR FINISH PLAN NAT=10 OR KEY NOTE NUMBERS ON ABOVE FINISH PLAN NAT=10 REVISIONS & SUBMISSIONS ATE CLIENT COMMENTS OR FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE SUPPORT FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE CORRESPOND TO THE FOLLOWING ITEMS FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE CORRESPOND TO THE CLAOWALLS SHALL RECEIVE MUD RINGS. COORDINATE NALL FUL RECEIVE WALLIS SHALL RECEIVE MUD RINGS. COORDINATE MITH ELECTRICAL CONTRACTOR. FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE CORRESPOND TO THE VOLKE IF POSSIBLE FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE FLOOR DRAIN TALLY THE CLAO WALLS SHALL RECEIVE MUD RINGS. COORDINATE MITH ELECTRICAL CONTRACTOR. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN TO FULL EXTENTS. FLOOR DRAIN BASE, ETR, REPLACE DRAIN BASE, ETR, TO PROVER A	A-113 TYP D WOMEN 227 3 4 4 5-0" AFF TO CLG PT-2 3	MURRAY HILLS, INC. 27 CAMBRIDGE ST SUITE #200 BURLINGTON, MA 01803
 PROVIDE SCHLUTER STRIP AT ALL VERTICAL TRANSITIONS AT WALL TILE. WALLS TO RECEIVE WALL TILE UP TO 5'-0" AFF - UON. INSTALL FULL HEIGHT WALL TILE AT WET WALLS AND AT ALL RECESSED PAPER TOWEL/TRASH RECEPTACLES AS SHOWN ON PLAN AND ELEVATIONS. PATCH & PAINT ALL WALLS AFFECTED BY THE WORK. APPLY PRIMER AND (2) FINISH COATS OF PAINT. WATER FOUNTAIN WALL TO RECEIVE NEW PAINT TO FULL EXTENTS. EXTENTS OF WALL TO RECEIVE NEW SHEATHING FOR TILE FINISH. REFER TO PARTITION SCHEDULE ON SHEET A-600. DRAWING NAME : FINISH FLOOOR PLANS 	NOTE: REFER TO SHEET A-600 FOR FINISH SCHEDULE NOTE: REFER TO SHEET A-600 FOR FINISH SCHEDULE SECOND FLOOR FINISH PLAN NUMBERS ON ABOVE FINISH FLOOR PLAN DENOTED WITH THIS SYMBOL KEY NOTE NUMBERS ON ABOVE FINISH FLOOR PLAN DENOTED WITH THIS SYMBOL KEY NOTE NUMBERS ON ABOVE FINISH FLOOR PLAN DENOTED WITH THIS SYMBOL FLOOR DRAIN BASE, ETR, REPLACE DRAIN COVER IF POSSIBLE. SLOPE FINISHES TO DRAIN AT ¹ / ₈ PER FOOT. ALL OUTLETS IN TILE CLAD WALLS SHALL RECEIVE MUD RINGS. COORDINATE	U.S. ICE 1000 DISTRICT AVE BURLINGTON, MA 01803 ORIGINAL ISSUE DATE PROGRESS SET 06.10.2020 REVISIONS & SUBMISSIONS DATE A CLIENT COMMENTS 08.17.2020
	 PROVIDE SCHLUTER STRIP AT ALL VERTICAL TRANSITIONS AT WALL TILE. WALLS TO RECEIVE WALL TILE UP TO 5'-0" AFF - UON. INSTALL FULL HEIGHT WALL TILE AT WET WALLS AND AT ALL RECESSED PAPER TOWEL/TRASH RECEPTACLES AS SHOWN ON PLAN AND ELEVATIONS. PATCH & PAINT ALL WALLS AFFECTED BY THE WORK. APPLY PRIMER AND (2) FINISH COATS OF PAINT. WATER FOUNTAIN WALL TO RECEIVE NEW PAINT TO FULL EXTENTS. EXTENTS OF WALL TO RECEIVE NEW SHEATHING FOR TILE FINISH. REFER TO PARTITION SCHEDULE ON SHEET A-600. 	FINISH FLOOR PLANS
COPYRIGHT © 2020 - MILLENNIUM DESIGN ASSOCIATES, INC.	FINISH FLOOR PLAN KEY NOTES	



ENLARGED RESTROOM PLAN - SECOND FLOOR 3/8"=1'-0" B



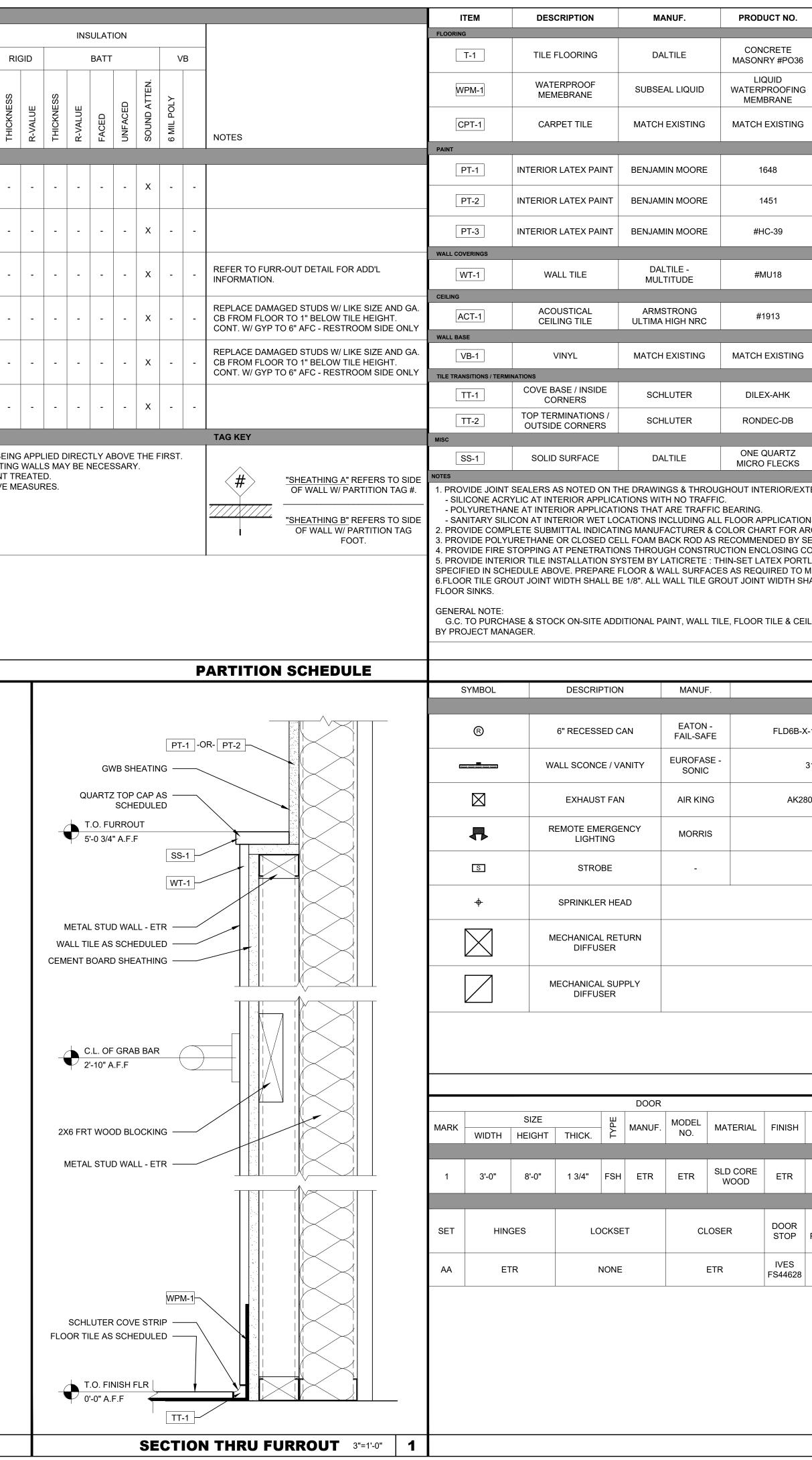
METAL STUD PARTITION SCHEDULE											1		-								
			STUD				SHEATHING														
								SHEATHING SIDE			SHEATHING SIDE B										
TAG	SIZE	GAUGE	SPACING	TO 6" A.F.C.	TO B.O. DECK	LAYERS	THICKNESS	MATERIAL	TILE HEIGHT	TO 6" A.F.C.	TO B.O. DECK	LAYERS	THICKNESS	MATERIAL	TO 3'-0" A.F.F.	TO 6" A.F.C.	TO B.O. DECK	PARTITION THICKNESS	FIRE RATING	U.L. NUMBER	
METAL	METAL STUD																				
	3 5/8"	PER TABLE	16" O.C.	-	x	1	5/8"	CEMENT BOARD	-	-	x	1	5/8	GWB	-	-	x	4 7/8"	-	-	
2	3 5/8"	PER TABLE	16" O.C.	x	-	1	5/8"	CEMENT BOARD	-	x	-	-	-	-	-	-	-	4 1/4"	-	-	
3	3"	PER TABLE	16" O.C.	-	-	1	5/8"	CEMENT BOARD GYP. BOARD	СВ	GB	-	-	-	-	-	-	-	3 5/8"	-	-	
4			ETR			1	5/8"	CEMENT BOARD	-	x	-	-	-	-	-	-	-		ETR		
5			ETR			1	5/8"	CEMENT BOARD GYP. BOARD	СВ	GB	-	-	-	-	-	-	-		ETR		
6	3 5/8"	PER TABLE	16" O.C.	-	x	1	5/8"	CEMENT BOARD	-	-	х	-	-	-	-	-	-	4 1/4"	-	-	
				1	1	1	1	1	1	1	I	1	1	1	1	1	1	1	I	1	

GENERAL PARTITION NOTES

WHERE TWO MATERIAL S ARE NOTED ON ONE SIDE OF A FRAMING MEMBER, THE FIRST ONE INDICATED WILL BE APPLIED TO HEIGHT INDICATED WITH THE SECOND BEING APPLIED DIRECTLY ABOVE THE FIRST.
 G.C. SHALL FIELD VERIFY THE EXTENT OF ALL G.W.B. REPAIR, PATCHING AND REPLACEMENT REQUIRED PRIOR TO BIDDING AS REPLACEMENT OF SECTIONS OF EXISTING WALLS MAY BE NECESSARY.
 PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL MOUNTED FIXTURES, ACCESSORIES AND SIGNAGE. ALL CONCEALED WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED.
 FIELD VERIFY ALL EXISTING PARTITIONS THAT ARE REQUIRED TO BE FIRE RATED ARE CODE COMPLIANT. NOTIFY ARCHITECT OF DEFICIENCIES AND FOR CORRECTIVE MEASURES.
 USE CEMENT BOARD IN ALL WET AREAS AND WALLS RECEIVING TILE.

7. REFER TO FINISH PLANS AND ELEVATIONS FOR PARTITION FINISHES.

8. REPLACE ALL EXISTING G.W.B. AND OR CEMENT BOARD REMOVED FOR INSTALLATION OF UTILITIES AND/OR BLOCKING.



	COLOR /	SIZE	LO	CATION		COMMENTS / SOURCE								
36	ARTISAN (16" X 3		RESTRO	DOM FLOC	ORS	ROBERT SHAW - 617.997.6461 GROUT = LATICRETE #23 ANTIQUEWHITE								
١G						EXTEND UP WALLS 6".	ARCHITECTUR	E						
G	MATCH EX	ISTING	RESTRO	DM VESTIE		F NO EXISTING STOCK IS AVAIL NOTIFY ARCHITECT FOR ALTERNATE TILE SELECTION	MILLENNIUM DESIGN ASSOCIATES, IN 1599 WASHINGTON ST, SUITE 1A BRAINTREE, MA 02184 PHONE: 781.843.9400	1C						
	SLATE E	BLUE	RESTROOM TILE - SE	M WALLS A		MEN'S ROOMS	www.MDAarchitecure.com							
	VIOLET P	PEARL	RESTROOM TILE - SE	M WALLS A		WOMEN'S ROOMS	EXPERIENCE, SERVICE, CREATIVITY & PARTNER PROJECT NO : MHI-1379	SHIP						
	PUTNAM I	IVORY	WATER FC ALCC	OUNTAIN V OVE WALLS		COORDINATE FINAL PAINT COLOR WITH TENANT / TENANT REPRESENTATIVE	SEAL :							
	MODERN (12 X 2		RESTR	OOM WAL	LS	ROBERT SHAW - 617.997.6461 GROUT = LATICRETE # 85 ALMOND	TOTAL STORE STORES							
	WHITE / 24 3/4"		RESTRC		NGS	SQUARE LAY-IN, FINE TEXTURE, 15 X 16 SQUARE LAY-IN GRID								
G	MATCH EX		RESTRO	OM VESTIE	BULE		DATE : 12/29/21							
	BRUSHED N ANOD A	LUM	RES	TROOMS			CONSULTANT :							
	BRUSHED N ANOD A		RES	TROOMS										
3	MORNING	FROST		UNTERTO ALL TOP C		ROBERT SHAW - 617.997.6461								
EXTE	ERIOR CONSTI	RUCTION AT	T JOINTS, PE	RIMETER	, STUD RUI	NNER TRACKS & PENETRATIONS.								
Y SE G CO RTL O M SHA	EET MANUFAC ALL BE 1/16". C	ACTURER I ALIZED ARE/ MORTAR, O CTURERS RE ARRY UP W	FOR APPLIC AS. PRGANIC AD ECOMMEND ALLS & SLE	ATION. HESIVE, E ATIONS. EVES A MI	Poxy Mor Nimum of 1	TAR & GROUT, GROUT COLORS AS 2" & SEALED TO THE FLOOR DRAIN & ETERMINED DURING CONSTRUCTION	CLIENT: MURRAY HILLS, INC 27 CAMBRIDGE ST SUITE #200 BURLINGTON, MA 01803	•						
					FINI	SH SCHEDULE	KEY PLAN :							
	SPEC		LAMF)		NOTES								
3-X-′	10-DO10-EMBC	D	LED	ŀ	HIGH EFFIC	IENT PERFORMANCE. VOLTAGE: 120V								
3′	1441-018		LED	ŀ) WATT - CHROME - 5 LIGHT IENT PERFORMANCE. VOLTAGE: 120V								
(280	LS - 280 CFM													
	73524		LED		HIGH EFFIC	IENT PERFORMANCE. VOLTAGE: 120V								
	-		-				PROJECT LOCATION : U.S. ICE							
	ETR						1000 DISTRICT AVE BURLINGTON, MA							
	ETR						01803							
	ETR						ORIGINAL ISSUE DAT	Ē						
							PROGRESS SET 06.10.2	020						
							REVISIONS & SUBMISSIONS DAT 1 CLIENT COMMENTS 08.17.2							
			T / CEII		FIXTU HRDWR	RE SCHEDULE	Image: Light comments 08.17.2							
1	GLAZING	MATERIAL	FINISH	DOOR & FRAME RATING	SET NO.									
	NONE	KD METAL	MATCH EXIST.		AA	RELOCATE EXISTING DOOR AND FRAME. REFINISH TO MATCH EXISTING.								
F	WEATHER PROTECTION		ADDITIONA	L HRDWR		NOTES								
8			ETF	٦		NOTIFY ARCHITECT IF HARDWARE REQUIRES REPLACEMENT	DRAWING NAME : SCHEDULES & DIAGRAMS							
							DRAWING NO :							
		DO		ID HA	RDWA	RE SCHEDULE	A-600							

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FIRST FLO	
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		FIRST FLO
	1.	ALL WORK CONTAINED HEREIN IS THE RESPONSIBILITY OF THE PC UON
	2.	COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, LA UTILITY COMPANY REGULATIONS AND AHJ(S) REQUIREMENTS. REFER T FOR GOVERNING CODE INFORMATION.
	3.	REFER TO SHEET G-102 FOR GENERAL CONTRACT REQUIREMENTS INC SHOP DRAWING PREPARATION, SUBMITTALS, ALTERNATES, APPROVAL CLOSE OUT REQUIREMENTS, GUARANTEE, AS-BUILTS, ETC.
	4.	OWNER HAS ELECTED THE DESIGN BUILD PROJECT DELIVERY METHOD THE PLUMBING WORK CONTAINED HEREIN. IT IS THE PC'S RESPONSIBIL PROVIDE A COMPLETE CODE COMPLIANT PROJECT, INCLUDING BUT NO LIMITED TO; ALL ENGINEERED DOCUMENTS, FILING PLANS, OBTAINING I PAYING FEES, PROVIDING LABOR, MATERIALS, COMPONENTS, SYSTEMS HOOK UPS AND WARRANTIES TO ACHIEVE THE DESIGN INTENT INDICAT
	5.	THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE DESIGN INTE ONLY. APPLICABLE CODES, UTILITY AND OR AHJ REQUIREMENTS SUPEI THESE DOCUMENTS. PC'S RESPONSIBLE TO VERIFY AND ADHERE TO TH STRINGENT REQUIREMENTS PRIOR TO BIDDING THE WORK.
	6.	IT IS NOT THE INTENTION OF THESE DRAWINGS THAT EVERY PIPE, VEN FIXTURE, ETC., BE SHOWN. ALL SUCH ITEMS SHALL BE FURNISHED AND INSTALLED AS NECESSARY BY THE PC TO COMPLETE THE PLUMBING S' INSTALLATION TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
	7.	WHERE PLUMBING COMPONENTS AND OR SYSTEMS ARE INDICATED ON DRAWING AND NOT ANOTHER IT IS THE PC'S RESPONSIBILITY TO PROVI COMPONENTS AND OR SYSTEMS IN THE QUANTITIES REQUIRED TO ACH THE DESIGN INTENT.

MURRAY HILLS, INC. 27 CAMBRIDGE ST SUITE #200 BURLINGTON, MA 01803	ELEC ROOF ACCESS	MILLENNIUM DESIGN ASSOCIATES, INC 1599 WASHINGTON ST, SUITE 1A BRAINTREE, MA 02184 PHONE: 781.843.9400 WWW.MDAarchitecure.com EXPERIENCE, SERVICE, CREATIVITY & PARTNERSHIP PROJECT NO MHI-1379 SEAL :
	WOMEN 227 7 2 TYP OF 3 ELEC 228	MURRAY HILLS, INC. 27 CAMBRIDGE ST SUITE #200 BURLINGTON, MA 01803
SECOND FLOOR PLUMBING PLAN 1/4" = 1'-0" B SARY KEY NOTE NUMBERS ON ABOVE PLUMBING PLAN DENOTED WITH THIS SYMBOL (*) → CORRESPOND TO THE FOLLOWING ITEMS: B 1. WALL HUNG TOILET IN PLACE OF EXISTING TOILET.	NOTE: REFER TO SHEET A-400 FOR FIXTURE SCHEDULE	U.S. ICE 1000 DISTRICT AVE BURLINGTON, MA 01803
SECOND FLOOR PLUMBING PLAN 1/4" = 1-0" B SARY KEY NOTE NUMBERS ON ABOVE PLUMBING PLAN DENOTED WITH THIS SYMBOL # - CORRESPOND TO THE FOLLOWING ITEMS: B ELOW 1. WALL HUNG TOLLET IN PLACE OF EXISTING TOILET.		
SYMBOL (#) CORRESPOND TO THE FOLLOWING ITEMS: WALL HUNG TOILET IN PLACE OF EXISTING TOILET. WALL HUNG URINAL IN PLACE OF EXISTING TOILET. WALL HUNG URINAL IN NEW LOCATION. WALL HUNG URINAL IN NEW LOCATION. WALL HUNG URINAL IN PLACE OF EXISTING. DRAWING NAME :: SCHEMATIC PLUMBING NAME :: SCHEMATIC PLUMBING PLANS DRAWING NO:: PLUMBING KEY NOTES	SARY KEY NOTE NUMBERS ON ABOVE PLUMBING PLAN DENOTED WITH THIS	
EIN URE DRAWING NAME :: SCHEMATIC PLUMBING PLANS DRAWING NO : P-411 P-411	ELOW I. WALL HUNG TOILET IN PLACE OF EXISTING TOILET. 2. WALL HUNG TOILET IN NEW LOCATION. 3. WALL HUNG URINAL IN PLACE OF EXISTING. 4. WALL HUNG URINAL IN NEW LOCATION. 5. UNDER COUNTER MOUNTED LAVATORY IN NEW LOCATION. 6. LOCKABLE HOSE BIB IN PLACE OF EXISTING	
SCHEMATIC PLUMBING PLANS DRAWING NO : P-411	VALL	
P-411	IE IN TURE	SCHEMATIC
PLUMBING KEY NOTES		
	PLUMBING KEY NOTES	COPYRIGHT © 2020 - MILLENNIUM DESIGN ASSOCIATES, INC.